

TOWN OF WAYNESVILLE

Planning Board

9 South Main Street
Waynesville, NC 28786
Phone (828) 456-8647 • Fax (828) 452-1492
www.waynesvillenc.gov

Development Services
Director
Elizabeth Teague

Planning Board Members
Susan Teas Smith (Chairman)
Ginger Hain (Vice Chair)
Stuart Bass
John Baus
R. Michael Blackburn
Travis Collins
Jan Grossman
Peggy Hannah
Tommy Thomas

Regular Meeting of the Planning Board
Town Hall, 9 South Main Street, Waynesville, NC 28786
Monday, July 15, 2024, 5:30 PM

A. CALL TO ORDER

1. Welcome/Calendar/Announcements
 - Summary of Council actions on recent Planning Board recommendations
2. Approval of Minutes as presented (or amended):
 - March 18, 2024 Regular Meeting Minutes
 - April 15, 2024, Regular Meeting Minutes

B. BUSINESS

1. A major site plan application for the 0.83-acre unaddressed parcel off Russ Avenue in Waynesville, NC 28786 (PIN 8616-38-5985). The site is a proposed location for the Haywood County EMS facility.
2. An amendment to the Conditional District for four (4) properties off Allison Acres Drive (PINs 8615-88-1632, 8615-88-4442, 8615-88-1854, and 8615-88-3857). The properties contain 7.73 acres. This is a proposed 50-unit development of single-family homes and townhomes.

C. PUBLIC COMMENT/CALL ON THE AUDIENCE

D. ADJOURN

Waynesville Town Council Votes on the Planning Board Items 2023-2024

February 14, 2023

- Map Amendment for the property located at 465 Boyd Avenue (PIN 8605-96-8882) to create a Hazelwood Urban Residential MXO-3 District.
- Text Amendment to the LDS Section 17.3, Use Type Definitions, Personal Services to include tattoo parlors.

The text amendments passed unanimously.

May 23, 2023

- Stormwater Ordinance text amendment, Section 12.5 of the LDS: design standards and safety measures for stormwater control measures with steep slopes and tall banks (such as ponds).

Motion of Consistency with the 2035 Plan and Motion to adopt the text amendment passed unanimously.

- Map Amendment for the property located at 237 Ratcliff Cove Road (PIN 8626-00-9246).

The Council voted to rezone the property described as 237 Ratcliff Cove Road (PIN 8626-00-9246) from the Raccoon Creek Neighborhood Residential District to the Raccoon Creek Neighborhood Residential District Mixed-Use Overlay-2, to be enacted 10 days after the Haywood County School Board achieves ownership of the property, and to limit the additional uses extended by the overlay to Government Services, and in so doing amending the Comprehensive Plan, Future Land Use Map to re-designate this property as "Community Facilities" in its land use typology.

June 27, 2023

- Text amendment to the LDS Section 5.10.2, Mixed-Use/Commercial Building Design Guidelines, Façade Materials.

The original text amendment was simply to add "metal panels and siding" to the list of permitted materials. The Town Council modified it by adding the following provisions:

Metal panels and siding may be used as a facade material on commercial buildings with the following restrictions:

1. *Metal panels and siding may be used as a facade material only on commercial buildings located within Neighborhood Center, Business, and Regional Center Districts.*
2. *Such metal panels and siding must consist of architectural-grade metal without a high-gloss finish. Standing seam metal panels may not be used as a facade material.*
3. *The use of metal panels and siding as a façade material within a National Register Historic District or Local Historic District must be approved by the Historic Preservation Commission with the issuance of a Certificate of Appropriateness.*

The text amendments passed unanimously.

September 12, 2023

- Addition of an "Event Space" as a stand-alone use to the Land Development Standards (LDS): definition and supplemental standards.
- Creation of a Railroad Overlay District: purpose, standards, uses.
- Definition of "Freight Hauling/Truck Terminals."

The text amendments passed unanimously.

January 9, 2024

- Rezoning request for the portion of the property at 1460 Russ Avenue from Dellwood Residential Medium Density Mixed-Use Overlay (D-RM MXO) to Russ Avenue Regional Center District (RA-RC) district.

The map amendment passed unanimously.

March 12, 2024

- The Town Council approved the Conditional District Rezoning for Biltmore Baptist Church with the following conditions:
 1. Comply with the façade standards and include architectural elements on the north and south side building elevations in accordance with Land Development Standards (LDS) section 5.10.
 2. Preserve existing street trees along Asheville Rd (LDS 8.4.1).
 3. Require 5-ft sidewalks along Asheville Rd and Ratcliff Cove Rd (LDS 6.6.2 B, D).
 4. Allow parking at the principal frontage, as proposed on the Master Plan (LDS 9.3).

The applicant submitted the Transportation Impact Analysis study at the hearing, and the Council accepted it with no further comments.

The map amendment passed unanimously.

March 26, 2024

The Town Council approved the Conditional District Rezoning for the 10.99-acre portion of the unaddressed parcels at Waynesville Inn and Golf Club PIN 8614-27-1901 and PIN 8614-27-7912, Greenview Conditional District Map Amendment (Rezoning), with the following conditions attached:

1. Lot width standards for CC-RL shall not apply
2. LDS standards for the proposed "Lane" within the subdivision shall not apply (LDS 6.6.2. E)
3. At both hydrant locations, the proposed "Lane" needs to be at least 26 ft wide. The plan needs to be adjusted prior to issuance of the building permit to comply with Fire and Building Codes.
4. The developer will pay payment-in-lieu for sidewalk construction with the easement granted to the Town to construct a sidewalk in order to fill the existing gaps in the neighborhood, per staff recommendations, with priority along the northern part of Longview Drive.
5. Civic space requirements of the LDS Chapter 7 shall not apply as the project claims credit for the existing amenities. Access to existing civic space must be guaranteed for all the residents of the development.
6. Landscape requirements of the LDS Chapter 8 shall not apply as the project will propose custom landscaping plan
7. Minimum spacing requirements between the driveways in CC-RL of the LDS Chapter 9 shall not apply

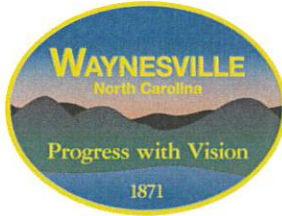
The map amendment passed unanimously.

May 14, 2024

1. The Council closed the public hearing on the Longview Conditional District Subdivision and directed the Town Attorney (Martha Bradley) and Development Services staff to negotiate some conditions of approval with the applicant to ensure better compliance with the LDS. The Council will vote on the application on May 28, 2024 with consideration of negotiated conditions.
2. The Council continued the public hearing on general 160-D corrections and tree preservation until June 11th, 2024.

<p>May 28, 2024</p> <ol style="list-style-type: none">1. The Council unanimously voted to deny the Longview Conditional District Map Amendment.
<p>June 12, 2024</p> <ol style="list-style-type: none">1. Text amendment related to 160D corrections, definition of townhomes, elimination of protest petitions, and tree preservation. <p><i>The text amendment passed unanimously.</i></p>
<p>June 25, 2024</p> <ol style="list-style-type: none">1. Railroad Overlay Map Amendment (RR-O) to the official Waynesville Land Development Map (a.k.a. zoning map). The overlay district is applied to 111 properties, with 81 of them being in the Frog Level area and 30 in Hazelwood. <p><i>The map amendment passed unanimously.</i></p>

You can access previous minutes and agendas by visiting the following site: <http://www.egovlink.com/waynesville/>.



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MINUTES OF THE TOWN OF WAYNESVILLE PLANNING BOARD

Regular Meeting

Town Hall – 9 South Main St., Waynesville, NC 28786

Monday March 18th, 2024, 5:30 p.m.

THE WAYNESVILLE PLANNING BOARD held a Regular Meeting on Monday, March 18th, 2024, at 5:30 p.m. in the boardroom of the Town Hall, 9 South Main Street, Waynesville, NC 28786.

A. CALL TO ORDER

1. Welcome/Calendar/Announcements

The following board members were present:

Ginger Hain (Vice Chair)
Stuart Bass
John Baus
Michael Blackburn
Travis Collins
Jan Grossman
Tommy Thomas

The following board members were absent:

Susan Teas Smith (Chair)
Peggy Hannah

The following staff members were present:

Elizabeth Teague, Development Service Director
Olga Grooman, Land Use Administrator
Esther Coulter, Administrative Assistant
Jeff Stines, Public Service Director
James Carroll, Intern

The following attorneys were present:

Ron Sneed, Town Attorney
Clint Cogburn, Attorney with Ward & Smith

Vice Chair Ginger Hain called the meeting to order at 5:29 p.m. Ms. Hain welcomed everyone and asked Development Service Director Elizabeth Teague for announcements. Ms. Teague gave the summary of the Council actions on recent Planning Board recommendations. Ms. Teague announced that a Special Called Planning Board meeting was scheduled for April 1st, 2024 for a Major Site Plan Amendment for Haywood Christian Academy to allow the addition of two classroom buildings.

Vice Chair Ginger Hain read through the procedures of the public hearing.

Attorney Clint Cogburn came to the podium and said he represented about 12 property owners adjacent to Longview Drive. Mr. Cogburn asked the board for a 10-minute time limit to speak for his clients.

B. BUSINESS

1. Continuation of the public hearing for a Conditional District zoning amendment for a 3.49-acre portion of the parcel (PIN 8604-99-9023) off Longview Drive within Waynesville Inn and Golf Club property. The proposal was to create a subdivision of 12 residential units.

Vice Chairman Ginger Hain opened the public hearing at 5:38 p.m.

Land Use Administrator Olga Grooman stated that this was a continuation of the public hearing for the 3.49-acre portion of the 102-acre property at 176 Country Club Drive. The applicant requested a Conditional District rezoning to develop the property on 12 individual lots of varying sizes and, as the application stated, "with the balance of the development areas to remain in a private common area." The requests were for flexibility in lot size, lot width, pedestrian facilities, civic space, alternative landscape plan, and driveway.

Patrick Bradshaw from Civil Design Concepts (CDC) represented Waynesville Golf Course Hospitality LLC (WGC). He reiterated that the proposed property was for 12 individual lots of various sizes. Mr. Bradshaw showed an exhibit of the proposed new road within the project, parallel to Longview Drive. Mr. Bradshaw stated that Longview Drive was not suitable for individual driveway connections. The developers identified the 2 best locations to connect the internal road within the development to Longview Drive.

Mr. Bradshaw said they were trying to make the land compatible with the surrounding area. Mr. Bradshaw showed an exhibit of several cross-sections that were indicative of the proposed lots 6 and 9. Mr. Bradshaw invited the board to walk around the site to be able to draw some perspective and understand what was being talked about.

Mr. Bradshaw showed a visual example of what the density allowance for this same property could allow, such as townhouses, that would total 30 units on this site. Mr. Bradshaw added that they had a second neighborhood meeting, and they tried to answer all the questions, and, from a developer's perspective, he hoped everyone heard the maximum height would not exceed 35 feet.

Board member Jan Grossman asked Mr. Bradshaw if he classified the space around the houses as civic space. Mr. Bradshaw said no.

Board member John Baus asked Mr. Bradshaw how the land between the roads was going to be titled, and Mr. Bradshaw stated that it would be to the HOA of the subdivision.

Public Comment:

Clint Cogburn, attorney with Ward and Smith P.A. said he was representing a group of property owners that lived adjacent to the proposed site. Mr. Cogburn stated that the request from the applicant remained unchanged, despite having additional time to address all the comments from the February meeting. Mr. Cogburn said that the applicant proposed a 35-ft. height limitation and asked the applicant if they could confirm that. Mr. Cogburn also requested clarification about whether there were any changes to the building material. Mr. Cogburn stated that he had not received any of the visuals from tonight's meeting and would like the opportunity to review them. Mr. Cogburn stated that the applicant was asking for a number of waivers from the Land Development Standards, and this was an extraordinary request, given the number of waivers. Mr. Cogburn said that when someone asked for so many waivers, they should provide additional certainty as to what was going to be built, placing additional restrictions upon themselves. Yet, the applicant had not done it. Mr. Cogburn requested the denial of the proposal. Mr. Cogburn said the point he wanted to address was the dramatic decrease in lot sizes. He stated that the minimum lot size per low-density zoning district was 0.5 acre, and the developer asked for 0.13- 0.27-acre lots. He stated that it was inconsistent with the 2035 Comprehensive Plan's goals 1 and 2. Mr. Cogburn recalled what possible changes to the plan were mentioned at the prior hearing and stated that none of them were offered by the developer.

Harry Mc Cracken, Waynesville

Harry Mc Cracken expressed the following concerns:

1. This development would block the view completely.
2. Traffic safety, road overload, people speeding, no design for big trucks.
3. Cul-de-sac as an alternative road within the subdivision.
4. Drainage around lot 9 was a concern because it was the lowest part of the property

Chris Owen- Waynesville

Mr. Owen said he recognized and appreciated the owners for keeping the land as a golf course and not turning it into a very large development of homes. Mr. Owen was in favor of this positive use. He acknowledged the neighbors' concerns but was not interested in preventing the project.

Victoria Whalen-Waynesville

Ms. Whalen expressed concern that a golf course was using chemicals and pesticides, and she did not know any results of the environmental testing.

Gary Gilbert- Waynesville

Mr. Gilbert stated that at the neighborhood meeting, a question was asked about the HOA, and the developer said that they did not have one. Mr. Gilbert said another question was to show the building material and share the information with the neighbors. He felt they were asking to simply trust them. He asked the board to deny the proposal.

Laura and Jay Hamre

Laura and Jay wanted to thank the board for being there and taking their time to listen to them. Ms. Hamre said she wanted to thank two Planning Board members specifically, John Baus and Stuart Bass, because they really listened to them and put themselves in their shoes. Ms. Hamre said they moved here over a year ago after searching for a home for four years. She stated that they moved here for the view of the mountains. Ms. Hamre said their house was 93 years old. She said the thing that was missing was the perspective of the homeowners and their concerns to consider the height of the proposed homes.

Jay Hamre

Mr. Hamre's concern was also the height of the homes. If a house was built at lot 12, it would be 50 ft away from their house, and they would only see 25 ft out. The Hamre provided the board with an exhibit.

Annett Brun-Waynesville

Ms. Brun said her biggest concerns were lot sizes and landscaping. She said the continuance was very beneficial to better understand the staff report and to also have that 2nd neighborhood meeting that answered a lot of questions. Ms. Brun stated that she and other homeowners had safety concerns with the very tall old pine trees, the height of the canopy trees, and lighting concerns. She stated they did get answers from the developer. Ms. Brun asked if they could request the following conditions to be added to the town's recommendations: the developer should work with the adjacent homeowners to develop an appropriate landscape plan, remove existing tall pines, and ensure the safety and value of the surrounding properties during construction.

Linnea McAden-Waynesville

Ms. McAden said her concern was lot sizes. She said all the houses on Longview Drive that faced the proposed development were larger than .30 acre. From reading the staff report and the Land Development Standards, she understood that the Planning Board would review the application and give recommendation to the compatibility of the neighborhood. Her recommendation was to increase not only the lot size but increase the lot width to 75 feet if not more.

Ann Walsh-Waynesville

Ms. Walsh said her biggest concern was safety. Ms. Walsh said she drove on Longview every day and many times she almost hit someone, especially people out walking. Ms. Walsh was concerned

about the big trucks on this road and people's safety. She also inquired where school buses were going to drop off the kids on the narrow road.

John Cox-Waynesville

Mr. Cox said he agreed with the safety concerns of that road and the need for additional speed signs. Mr. Cox said he welcomed the new neighbors. Mr. Cox thanked the golf course owners for their commitment to the Town of Waynesville and for purchasing the failing county club, preventing hundreds of homes from being built there. Mr. Cox said all the homes in the neighborhood have escalated in value. Mr. Cox said he appreciated that no condos or monster houses were proposed and emphasized the reasonableness of this concept. He welcomed and thanked the development.

Catherine Topel-Waynesville

Ms. Topel stated her family had owned a home on Longview for over a hundred years. She represented her parents who resided in the home off Longview Drive. Their biggest concern was lot sizes, including the width of the properties. Ms. Topel stated she was able to attend both neighborhood meetings. The setbacks between each home would be about 20 feet, and that was about 7 steps and not compatible with the neighborhood. Ms. Topel said she was for the development and wanted homes there. She stated that she was just asking for some thoughtful consideration and stricter adherence to the ordinance, and that there was only one opportunity to build a city.

Matt Johnson-Waynesville

Mr. Johnson said that the golf course owner supported the community to such a high level that there were amazing changes to these properties and the views. Mr. Johnson said the growth that they were promoting to the area to build the community was a good change. He supported it as a resident of Waynesville for 11 years. Mr. Johnson said we had an opportunity for growth, but safety needed to be in consideration.

Development Services Director Elizabeth Teague clarified to the board the subdivision plan on page 21 of the agenda packet. She reiterated that the Planning Board would be making a recommendation to the Town Council.

Vice Chair Ginger Hain Closed the public hearing at 6:32 p.m.

The Planning Board deliberated:

- Vice Chair Ginger Hain recommended denial to the Town Council.
- Board member Tommy Thomas said his recommendation was denial to the Town Council.
- Board member Jan Grossman said if they wanted to build a regular development, they should follow the regular rules. If they wanted to build a cottage development, they should follow cottage rules. He recommended denial to the Town Council.

Planning Board Minutes

March 18th, 2024

- Board member John Baus did not disagree with a development at this location, but this project was not in reasonable compliance with the standards. The number of waivers was high: lot size, lot width, setbacks, design guidelines, sidewalks, civic space, landscaping, and driveway spacing. He recommended denial to the Town Council.
- Board member Stuart Bass appreciated the comments on the road issue, but the Planning Board couldn't fix the roads. With limitations on height to 35 ft, he recommended the project to the Town Council.
- Board member Michael Blackburn said he was looking at it as a whole and he understood smaller lot sizes. He recommended it to the Town Council.
- Travis Collins recommended the project to the Town Council.

A motion was made by Tommy Thomas, seconded by John Baus, to recommend the denial of this project to the Town Council. The motion passed with 4 board members voting in favor of denial and 3 against.

2. Continuation of a public hearing for a Conditional District zoning amendment for a 10.99-acre portion of the parcels (PIN 8614-27-1901 and PIN 8614-27-7912) off Greenview Drive within Waynesville Inn and Golf Club property. The proposal was to create a subdivision of 13 residential units.

Vice Chairman Ginger Hain open the public hearing at 6:14 p.m.

Land Use Administrator Olga Grooman read through her staff report and the request from the applicant. Ms. Grooman said the 10.99-acre portion of Waynesville Inn and Golf Club off Greenview Drive was within Waynesville ETJ. The development was a proposed subdivision of 13 single-family homes. The applicant requested a Conditional District rezoning to develop the property on 13 individual lots. The project sought flexibility in lot width, pedestrian facilities, civic space, alternative landscape plan, and driveways. She read LDS section 2.7 that Conditional Districts were districts with conditions voluntarily added by the applicant and approved in a legislative procedure by the Town Council in accordance with G.S. 160D. Conditional Districts provided for orderly and flexible development under the general policies of the ordinances without the constraints of some of the prescribed standards guiding by-right development.

Board members asked for clarification from staff on the requests for civic space and sidewalks within the development and around the golf course.

Patrick Bradshaw, Emily Clark, and Dave Braun represented the project and appeared before the board on behalf of the owners, WGC Hospitality, LLC.

Applicant

Patrick Bradshaw with Civil Design Concepts said the Greenview project had similarities to the Longview project. Mr. Bradshaw said the proposed subdivision would only need street trees per ordinances. The developer would like some flexibility in landscaping due to hearing from some neighbors that they didn't want tall trees that were going to interfere with the views.

Mr. Bradshaw stated the town did not regulate architectural standards for houses on lots 50 ft or greater in width.

Attorney Ron Sneed interrupted Mr. Bradshaw and said that per his conversation with the School of Government, housing esthetics and quality of the housing could be considered in Conditional District rezoning, according to Adam Lovelady at the School of Government.

Mr. Bradshaw said if one was building a by-right subdivision, there was no guidance to the design of individual homes. He reminded that they talked about the architectural designs and materials during the last meeting.

Mr. Bradshaw asked the board to turn to civic space Chapter 7.2 *Community Area* that was designated as indoor or outdoor facilities to support social and recreational activities of the residents. Examples included a pavilion, fire pit, picnic area, grill area, gym, pool, community building, club house, basketball court, tennis court, golf course, or similar amenities determined to be appropriate by an Administrator.

Mr. Bradshaw said they sent out 120 invitations to the neighborhood meeting on February 19th, at the Waynesville Golf Club, and 26 area neighbors attended. The attendance sheet and comments were in the agenda packet.

PUBLIC COMMENT*Cami Bredeson- Waynesville*

Ms. Bredeson said her concerns were the sidewalks along Greenview and Longview. She said it was not safe to walk or ride a bike on these roads. Ms. Bredeson said that if we couldn't regulate building materials, we could take the wording and add it to the deeds.

Bess Crider- Waynesville

Ms. Crider asked the Board to advise the town to look at the car traffic, speed, and pedestrian safety along Greenview and Longview to see if they could make improvements. The neighborhood development was started in 1920, but it could have been as early as 1909, and the roads were much narrower back then. The money received for sidewalks needed to stay inside the neighborhood developments.

Emily Clark- Clarks Lanning Architects

Ms. Clark stated that they had a draft copy of the architectural guidelines that were reviewed by their internal council. Ms. Clark said these would be deed-restricted architectural guidelines. Every project, whether new or future, any addition, any alteration would require a review and approval by the architectural review committee. The committee was comprised of 5-member design professionals and a member of the club management team. The review was a 4-part process with a schematic design and site visit with new homeowners. The review would include preliminary drawings, construction drawings, and landscaping design for each lot. The cottages would be rental properties. The Greenview project had a 35-ft height limitation. The lots were larger, and the homes would be larger with a min. 2,500 sf and a max size of 4,500 sf.

Board member Mr. Thomas asked who would be the governing body 10 years down the road would be, the Golf Course or Homeowner Association.

Ms. Clark said HOA.

David Tate said there was a lot of thoughtfulness in ownership of the Golf Course and Country Club. Mr. Tate said they invested \$30 million in it and were not going to sell the lots and let people build wherever.

Vice Chair Ginger Hain Closed the public hearing at 7:35 p.m.

The Board deliberated.

The board talked about sidewalks and pedestrian safety, easements for sidewalk, landscape and giving leniency on trees, civic space within the development, and lot width change.

A motion was made by Board member Michael Blackburn, seconded by board member Tommy Thomas, to recommend the proposed Conditional Zoning District with the following conditions:

- 1. Lot width standards for CC-RL shall not apply.***
- 2. LDS standards for the proposed "Lane" within the subdivision shall not apply (LDS 6.6.2. E).***
- 3. At both hydrant locations, the proposed "Lane" needs to be at least 26 ft wide. The plan needs to be adjusted prior to issuance of the building permit to comply with Fire and Building Codes.***
- 4. The developer will pay payment-in-lieu for sidewalk construction.***
- 5. Civic space requirements of the LDS Chapter 7 shall not apply as the project claims credit for the existing amenities.***
- 6. Landscape requirements of the LDS Chapter 8 shall not apply as the project will propose custom landscaping plan.***
- 7. Minimum spacing requirements between the driveways in CC-RL of the LDS Chapter 9 shall not apply.***

The motion passed 6-1.

A motion was made by board member Stuart Bass and seconded by board member Jan Grossman that the proposed zoning amendment for this Conditional District was consistent with the Town's Comprehensive Land Use Plan and is reasonable and in the public interest because it is consistent with:

Goal 1: Continue to promote smart growth principles in land use planning and zoning.

- *Encourage in-fill, mixed use, and context-sensitive development.*
- *Reinforce the unique character of Waynesville*

Goal 2: Create a range of housing opportunities and choices.

- *Encourage new housing inside Waynesville's city limits and Extraterritorial Jurisdiction (ETJ)*
- *Promote a diverse housing stock including market rate, workforce housing and affordable options that appeal to a variety of households.*

The motion carried unanimously.

Vice Chair Ginger Hain asked for a 5-minute recess.

3. Public Hearing for a major site plan for an 8-unit townhome development at 1471 Sulphur Springs Road (PIN 8605-74-1259).

Vice Chairman Ginger Hain open the public at 7:57 p.m.

Land Use Administrator Olga Grooman said the property was 1.12 acres and zoned as Hazelwood Business District (H-BD). The property was located at the intersection of Sulphur Springs Road and Elysima Avenue. The lot was currently vacant. The two houses that existed there were in a dilapidated state and were demolished in October 2023.

Ms. Grooman said the proposed development for the 8-unit townhome development was a major site plan review. The project would create 2 buildings. Each building would have 4 attached townhomes with separate entrances from the street. The larger building would be approximately 1540 sq ft, with 3 BR and 2.5 BA units. The smaller building was approximately 1200 sq ft, with 2 BR 2 BA units. The units would front Sulphur Springs Road. The 20-ft wide driveway would connect to Sulphur Springs Road and create 15 shared parking spaces for the residents.

The applicant, Kalon Stiggins stated that he and his wife owned Root and Branch Property LLC. They had been investing in real estate for about 10 years in Haywood County. The goal of this project was to provide the opportunity for first-time home buyers. The target price point for 2 BR 2 BA units was in the \$300,000 range, and 3 BR 2.5 BA units would be about \$340,000.

There was no public present for the comment.

Vice Chair Ginger Hain closed the public at 8:20 p.m.

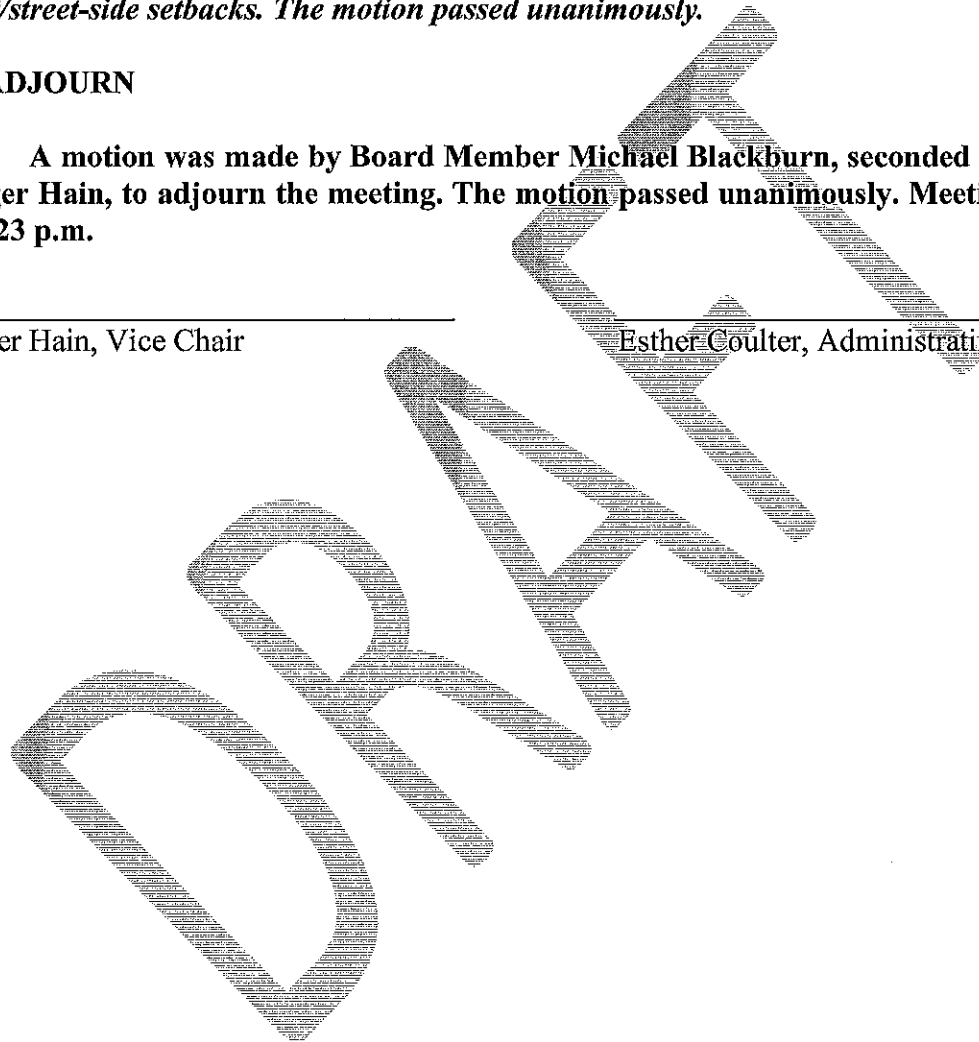
A motion was made by board member Jan Grossman, seconded by board member Stuart Bass, to approve the Major Site plan as it was consistent with 2035 Comprehensive Land Use Plan's Goals 1 and Goals 2 as proposed. The site approval would be contingent on two variances granted by the Zoning Board of Adjustment: to allow parking at the principal front and front/street-side setbacks. The motion passed unanimously.

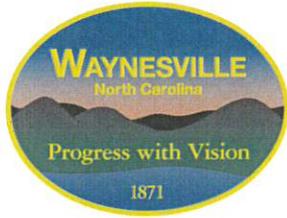
C. ADJOURN

A motion was made by Board Member Michael Blackburn, seconded by Vice Chair Ginger Hain, to adjourn the meeting. The motion passed unanimously. Meeting adjourned at 8:23 p.m.

Ginger Hain, Vice Chair

Esther Coulter, Administrative Assistant





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MINUTES OF THE TOWN OF WAYNESVILLE PLANNING BOARD

Regular Meeting

Town Hall – 9 South Main St., Waynesville, NC 28786
Monday April 15th, 2024, 5:30 p.m.

THE WAYNESVILLE PLANNING BOARD held a Regular Meeting on Monday, April 15th, 2024, at 5:30 p.m. in the board room of the Town Hall, 9 South Main Street, Waynesville, NC 28786.

A. CALL TO ORDER

1. Welcome/Calendar/Announcements

The following members were present:

Susan Teas Smith (Chair)
Ginger Hain (Vice Chair)
Stuart Bass
John Baus
Michael Blackburn
Travis Collins
Jan Grossman
Tommy Thomas

The following board member were absent:

Peggy Hannah

The following staff members were present:

Elizabeth Teague, Development Service Director
Olga Grooman, Assistant Development Service Director
Esther Coulter, Administrative Assistant

Other Town Staff were present:

Darrell Calhoun, Fire Marshall
David Kelley, Chief Code Enforcement Official
Jeff Stines, Public Services Director

The following attorney was present:

Ron Sneed, Town Attorney

Chair Susan Teas Smith called the meeting to order at 5:29 p.m.

Mrs. Smith welcomed everyone and asked Development Service Director Elizabeth Teague for announcements. Ms. Teague presented the summary of Council's actions from the recommendations of the Planning Board. Ms. Teague also told the members that if their term was expiring, the Town Clerk Candace Poolton would be contacting them.

Ms. Teague explained the application process that the developers went through before Planning Board's hearings and introduced several members of the town's technical review committee: David Kelley, Jeff Stines, and Darrell Calhoun. They explained to the board what they did for the town.

A motion made by Board Member Stuart Bass, seconded by Jan Grossman to approve the minutes for February 26th, 2024, Planning Board meeting as amended. The motion passed 7 to 1, with Susan Teas Smith abstaining due to being absent.

A motion was made by Vice Chairman Ginger Hain, seconded by Board member John Baus to approve the minutes of the March 4th, 2024, Planning Board meeting. The motion passed unanimously.

B. BUSINESS

1. Public Hearing to consider the placement of an additional sign at Valleywood Farms Subdivision.

Ms. Teague said that she tried to reach out to the applicant but was unable to reach them. She stated the applicant knew about the meeting but was not present. Ms. Teague asked the board for a continuance.

A motion was made by Chairman Susan Teas Smith, seconded by Board member Jan Grossman to continue the public hearing until next month. The motion passed unanimously.

2. Public Hearing to consider text amendments pertaining to regulation of Short-Term Rentals.

Mrs. Smith read through the public hearing procedures and opened the hearing at 5:45 p.m.

Ms. Teague said she wanted to start the discussion on the limitations of what the town regulated.

She explained that the Planning Board made recommendations to the Town Council. The Town Council was the only authority to change the ordinances. The town's ordinance jurisdiction was only within the town's boundaries. This was the first public hearing on the subject.

Ms. Teague explained that per Council's request in 2018, they researched and monitored the short-term rental (STR) activity in Waynesville. Ms. Teague said there were 74 different platforms with a total of 444 listings in 2021. Ms. Teague received a lot of calls and saw comments on social media. She told the audience that no one in the town wanted to ban short-term rentals.

Ms. Teague said there was no definition of STRs in Waynesville Land Development Standards (LDS). The LDS only had 2 possibilities that could be relevant: "residential and lodging," but the town did not want to micromanage private properties.

Ms. Teague asked the board for feedback on the definitions and structure of the ordinance. She told the board that more work needed to be done on determining the neighborhoods within the zoning categories. Ms. Teague read through her staff recommendation and draft definition for "STRs" along with other definitions. She also read through the table of permitted uses, sections of the LDS with proposed changes or additions.

Public Comment

Jackie Cure, a local business owner, wanted to know about the grandfathering of the STRs. She oversees the building of houses. Once built, they get listed as STRs until they are sold, and she employs people to keep them clean. Ms. Cure suggested to the board to sit down with the STR business owners and work through the process. Ms. Cure thanked the board and said she would help where needed.

David Plyler is a real estate broker who lives in Buncombe County and is a property owner here in Waynesville. Mr. Plyler said the short-term rentals were not making the affordable housing to go up in price. Mr. Plyler's said his client investors bought the land and built 6 houses and sold all but one and, it is a rental house now. The investors paid to pave the road. He said he would like information about the complaints. Mr. Plyler said he employed maintenance workers and cleaning personnel. The house does not have garbage pickup and the trash is taken out at every check out.

Robert Dungan said they lived in Buncombe County and owned a property in Waynesville's ETJ. Mr. Dungan said that they used their properties for short-term rentals and for clients that stay for 3 to 5 months. Mr. Dungan suggested to delete the word vacation from the STR definition because folks were also here for work. Mr. Dungan also suggested to delete the word "lodging." If the STRs are considered lodging, you would allow them to be held to the same regulations as hotels, motels, and bed & breakfasts.

Trisha Hollifield said they owned properties within walking distance of downtown and after going to other county's meetings, the biggest concern was enforcement of the regulations, and it was not constitutional. Ms. Hollifield said that everyone living in town limits should be held to the same regulations, such as parking and trash.

Roberta D'Alesandro lives in Haywood County. With the contingency of Willows POA, they were looking to rewrite covenants and restrictions. They were questioning the proposed Ordinance section B number 1. How was the level of occupancy determined for STR?

Board Chair Ms. Smith replied that they would be complaint-oriented and regulated within the laws that apply. Ms. Smith confirmed that with Attorney Ron Sneed, and he agreed.

Carlos Vazquez lives in Florida and is an STR property owner and manager. The properties are in Maggie Valley and Bryson City. He said they planned on moving here. He explained that if he had 107 five-star reviews and 1 bad review, the bookings were based on the rating. He also suggested that the board meet with short-term rental owners.

Chairman Susan Teas Smith closed the public hearing at 7:15 p.m.

A motion was made by Board member Michael Blackburn, seconded by Vice Chairman Ginger Hain to organize a work committee, then a public meeting to clarify details. Chairman Smith made an amendment to appoint board members Michael Blackburn, Travis Collins, and John Baus, to the committee to work with Development Services Staff. The committee will reach out to STR owners for a workshop. Amendment was second by Vice Chair Ginger Hain. The motion passed unanimously.

3. Text amendment to update Child/Adult Day Care Home, and Residential Care Facilities.

Elizabeth Teague, Development Service Director, informed the board that the state changed the regulations and asked the board for a continuance of the public hearing for staff to get clarification.

A motion was made by Board member John Baus, second by Chairman Susan Smith to grant a continuance until next meeting. The motion passed unanimously.

4. Text amendment related to LDS corrections and updates, including protest petitions, tree preservation, and definition of townhomes, within multiple sections of LDS.

Olga Grooman, Assistant Development Service Director, read through the staff report, giving some background information. The proposed text amendments included additions and revisions to several outdated sections of the LDS, per recommendations of the Town Attorney Martha Bradley. The feedback on enhanced tree protection was based on ongoing citizens' concerns. The staff also had a list of grammatical errors and outdated references within the LDS.

A motion was made by Board member Michael Blackburn, seconded by Board member Stuart Bass to approve all changes to the Land Development Standard. The motion passed unanimously.

A motion was made by Chairman Susan Smith, seconded by Board member Jan Grossman regarding the consistency with the 2035 Comprehensive Land Use Plan. The proposed text amendments to the LDS were necessary to keep our ordinance up to date and maintain its legal authority. Therefore, they were reasonable and in the public interest. They were also consistent with Comprehensive Plan's Goals 1 and 3 continuing to promote smart growth principles and to protect and enhance our natural resources. The motion passed unanimously.

C. ADJOURN

A motion was made by Board member Michael Blackburn , seconded by Vice Chairman Susan Teas Smith, to adjourn the meeting. The motion passed unanimously. The meeting was adjourned at 8:00 p.m.

Susan Teas Smith, Chairman

Esther Coulter, Administrative Assistant

**Planning Board Staff Report
Major Site Plan Review of Haywood County Satellite EMS Facility
Administrative Site Plan Review**

Meeting Date: July 15, 2024
Subject: Public hearing for a major site plan review
Project: Haywood County Satellite EMS Facility on 0.83 ac
Location: 2249 Russ Avenue, Waynesville, NC 28786 (PIN 8616-38-5985)
Zoning District: Dellwood Residential- Medium Density Mixed-Use Overlay (D-RM-MX-O)
Existing Conditions: Grassy lot with several sheds in the back
Applicant: Bryant Morehead, Haywood County Manager
Property Owner: Haywood County Government
Presenter: Olga Grooman, Assistant Development Services Director

Background:

This is an application for a Haywood County Satellite EMS facility. The subject property (PIN 8616-38-5985) is located in the corporate limits of Waynesville and Dellwood Residential- Medium Density Mixed-Use Overlay (D-RM-MX-O) zoning district. The lot is currently vacant. The property is 0.83 acres, and it is located at the intersection of Russ Avenue and Mauney Cove Road, with frontage along Russ Avenue.

The proposed project will consist of one 3,870-sf building facing Russ Avenue, a walkway around the back of the building, a service yard, and a parking lot. The EMS building will have vehicle bays at the front and living quarters for emergency personnel in the rear. The project will connect to Russ Avenue via two driveways to the north and south of the building, and require the construction of sidewalk along the Russ Avenue frontage.

The property is mostly flat with a gentle slope towards north-west. The lot is not in the floodplain, but Mauney Cove Branch stream runs along the north-western side of the lot. Additionally, the sewer line runs on site, parallel to its western boundary.

On July 2, 2024, the Zoning Board of Adjustment unanimously granted a variance to accommodate a 0-ft front setback for the EMS building. As a brief summary, the district’s principal front setback is 10 ft. However, the current front property line is approximately 19.86 ft off Russ Avenue because of the NC DOT-owned right-of-way. Therefore, even with a 0-ft front property line setback, the building will still be 19.86 ft away from the road. The applicant sought this variance in order to maximize their operational needs (such as entry/exit of EMS vehicles), to build according to the topography of the site (minimize retention walls and fill dirt in the rear), and to provide adequate distance from the sewer line along the western side of the property. See the attached variance order for more details.

The applicant first met with the Town’s Technical Review Committee (TRC) consisting of zoning, Public Services, building inspections, and fire staff on June 4, 2024. Based on the TRC feedback, the applicant officially submitted the application on June 26, 2024. The applicant submitted a Master Plan, Environmental Survey, and Building Elevations as a part of their application. Staff provided notices of this public hearing in the Mountaineer newspaper (06/26/24 and 07/03/24), by posting the property (06/24/24), and via first-class mail to adjacent property owners within 100 ft (06/24/24).

Project Overview:

Per LDS 15.8.2(A), all mixed-use or non-residential projects in RM are considered major site plans. A major site plan review is an administrative procedure– **an objective evaluation**. The planning board is the *Administrator* in accordance with LDS Section 15.8.2 Site Plan/Design Review (Major).

An administrative decision is a “decision made in the implementation, administration, or enforcement of development regulations that involve the **determination of facts** and the **application of objective standards** set forth in Chapter 160D of the NC G.S. and the Town of Waynesville Code of Ordinances” (LDS 17.4).

For the major site plan review, the Planning Board must find that each of the following facts to be true in order to approve, or approve with conditions, a major site plan (LDS 15.8.2):

1. The plan is consistent with the adopted plans and policies of the Town;
2. The plan complies with all applicable requirements of this ordinance; and
3. The plan has infrastructure as required by the ordinance to support the plan as proposed

The Haywood County Satellite EMS Base project proposes a 3,870 sf building on a 0.83 ac lot. Government services are permitted as a use in D-RM-MX-O (LDS 2.5.3). LDS 17.3 provides the following definition:

“Government Services. Includes federal, state, and local government agencies that administer, oversee, and manage public programs and have executive, legislative, and judicial authority.”

Consistency with the 2035 Comprehensive Land Use Plan (LDS Chapter 1):

The Future Land Use Map of the 2035 Comprehensive Land Use Plan designates this property as *Mixed-Use-Community* for future development. “This designation is intended for nodes of activity areas on major streets and thoroughfares incorporating commercial retail and office, light industrial, employment centers and institutional uses to serve the community. Residential single and multifamily development of medium densities may be vertically or horizontally integrated with the commercial. These areas will likely have access to municipal utilities and development should be connected to transit and pedestrian ways. Scale of these areas should vary based on context” (2035 Comp Plan, p. 27).

The proposed project is consistent with the following Comp. Plan’s goals:

Goal 1: Continue to promote smart grown principles in land use planning and zoning.

- Encourage infill, mixed-use and context-sensitive development.

Goal 6: Create an attractive, safe and multi-modal transportation system.

- Ensure citizenry has access to recreational, health and wellness, and medical services.

Purpose and Intent by Zoning District (LDS Chapter 2):

The subject property is in Dellwood Residential- Medium Density Mixed-Use Overlay (D-RM-MX-O) zoning district. The purpose and intent of this district states (LDS 2.3.2 B):

“The Dellwood Residential—Medium Density District (D-RM) shall develop predominately as a low to medium density residential district separating the Russ Avenue and Dellwood/Junaluska Town Centers. Promoting a mixture of residential densities, this district shall be developed with such enhancements to residential living as pedestrian access and the provision of open space. Higher density development and limited business and professional services shall be promoted along Russ Avenue with larger lots and cluster development promoted throughout the district. Nonresidential uses typically found in residential areas are permitted, however, development in this district shall be designed to clearly define the residential appearance and scale of the area and to define the differences between this area and the Russ Avenue Town Center and Dellwood/Junaluska Area Center.”

The purpose of Mixed-Use Overlay districts states (LDS 2.6.2 A):

Purpose: The Mixed-Use Overlay District (MX-O) is a zoning overlay district established to permit certain limited mixed-uses within residential neighborhoods.

Government services is a permitted use in D-RM-MX-O, and it is consistent with the district's purpose and intent. The EMS base, surrounded by both residential and non-residential uses (school, offices, businesses), will meet various public needs in northern Waynesville and its neighborhoods.

Zoning Compliance:

LDS 2.4.1- Dimensional Standards for D-RM:

- The district's principal front and side setbacks from adjacent lot are 10 ft, street side setback is 5 ft, and rear setback is 6 ft. A setback between buildings is 6 ft. The project has been granted a 0-ft setback variance from the principal front. The plan is in compliance with other setbacks standards, with the rear setback being approximately 32 ft at its closest point to the western property line (back of the building), about 80 ft away from adjacent lot in the south, and approximately 140 ft away from the northern property line off Mauney Cove Road.
- Minimum lot size for D-RM is 0.5 ac. The subject property is 0.83 ac. Minimum lot width is 50 ft, and the subject property is approximately 250 ft along Russ Avenue frontage.
- Minimum pervious surface requirement is 20%. The 0.83 ac (36,154.8 sf) lot will have 0.36 ac (15,735 sf) of impervious surface upon completion, which is 43% of the site and exceeds the standard.
- Maximum building height allowed is 3 stories. The proposed building is one story, approximately 22.5 ft high at the principal frontage off Russ Avenue.
- Civic space- exempt as non-residential (LDS 7.3.2(C)).
- No outside storage or accessory structures are proposed.

LDS Chapter 3- Supplemental Standards: There are no supplemental standards for government services.

LDS 4.3- Basic Lot and Use Standards: Per LDS 4.3.1, all lots shall front upon a public street or a driveway. The proposed EMS building will front Russ Avenue on the east, with the project connecting to the road via two driveways to the north and south of the building beside emergency vehicles bays.

LDS 4.4- Measurement of the Building Height: Maximum building height is 3 stories and 60 ft in RM. Per LDS 4.4.2(A), the building height is measured from the the highest adjacent grade to the top of the sloped roof at the primary façade. The proposed EMS base is approximately 22.5 ft at the Russ Avenue frontage (east elevation exhibit).

LDS 5.10- Mixed-Use / Commercial Building Design Guidelines:

- East Elevation is the primary façade of the building, facing Russ Avenue.
- Per LDS 5.10.2- *Façade Materials*, "Commercial building walls visible from a public street or civic space shall be primarily standard brick, stacked stone, stone or stone masonry units, wood clapboard, cementitious fiber board, or exposed heavy timber." The submitted designs indicate fiber cement,

quality masonry units of various sizes (such as cut and hew stone), concrete cap stone, and glass as primary façade materials which are compliant.

- The principal frontage is compliant with the requirement that blank walls that do not contain transparent windows or doors shall not exceed 20 ft in length along the street frontage (LDS 5.10.3(A-B)- *Ground Level Detailing*). Additionally, the façade meets the standard that window glazing and doorways shall be predominant features in the street-level façade. The front façade is approximately 36 ft wide along Russ Avenue and contains four (4) windows, with each glass area being 4.5 ft wide and 9 ft high.
- As required by the LDS 5.10.3(C)- *Transparency Zone*, at least 50% of the length of the building along the primary façade is glass. The total width of the glass of four (4) windows is about 18 ft for 36 ft of building width, which meets the standard.
- LDS 5.10.4 requires all rooftop equipment to be screened. None is proposed. The east and west elevations show the mechanical screening that makes the equipment hidden from view.
- LDS 5.10.5- *Façade Articulation* requires “horizontal and vertical variation of the façade so that the walls are subdivided into bays or sections that are vertically proportioned.” The building meets the specific standards of this section:
 - ✓ The architectural elevations of the building, visible from the street, clearly define a **base, body, and cap**. The building contains a 3.5-ft high stone base with a trim. The body of the building contains windows with short overhangs and trims. The cap contains various trims as architectural treatments. Additionally, there are multiple trim reliefs throughout the facade, dividing the frontage into distinct sections through changes in color, material, and pattern.
 - ✓ The frontage of the building shall be divided into **architecturally distinct sections** with each section taller than it is wide. For the building frontage less than 60 ft, each section shall be at least 30 ft wide. The primary façade is 36-ft wide and meets these standards through changes in material, brick post columns, windows, trims, and overhangs.
- Building entrances are indicated on the north and west elevations. There are no doors at the primary façade.

LDS Chapter 6- Infrastructure:

- The project shows the connection to Russ Avenue via two 16-ft driveways on the north and south. **The width of the driveways need to be adjusted to 20 ft for fire access prior to issuance of the building permit.**
- The project will not create any new streets. The plan indicates a 5-ft sidewalk. A 6-ft sidewalk is required along Russ Avenue, per street classification in LDS 6.6.2(A). There is also an existing 5-ft sidewalk to the south of the property. **If the width of the existing sidewalk is different, the new sidewalk shall be the same width as the existing sidewalk or meet the standards of the LDS 6.6.2, whichever is greater (LDS 6.8.1). The sidewalk width needs to be adjusted past the connection point to the existing sidewalk.**
- Existing utilities (water, sewer) are shown on the master plan. The Public Services confirmed via the attached letter that the Town will be able to provide water and sewer distribution to the building. There is already an existing water and sewer infrastructure on site. It is a former location of a small dilapidated apartment complex that was condemned by the Town’s Building Inspections and torn

down by the owner. Duke Energy will provide electric service for the parcel. The fire hydrant is shown on the north-eastern part of the side, above the driveway. Therefore, the project has adequate infrastructure to support itself (LDS 6.11).

LDS 7.3.2(C)- Civic Space:

The project is exempt from the civic space requirements as a non-residential development.

LDS Chapter 8- Landscaping:

- The Mauney Cove Branch stream runs along the north-western side of the lot. The site preserves the existing vegetation along the stream buffer, which includes canopy trees (LDS 8.3).
- The surrounding properties to the south and west are also located within the D-RM-MX-O district, and the adjacent properties on the northern and north-eastern sides are within Dellwood/Junaluska Regional Center (DJ-RC) commercial district. No buffer is required per LDS 8.4.1. The buffer between the DJ-RC district is only required if the project abuts more intensive uses there. The abutting properties within this district are auto shop to the north and vacant lot to the north-east, which are not more intensive than an EMS facility.
- LDS 8.5 requires street tree plantings at a rate of one canopy tree for every 40 ft of street frontage with a maximum spacing of 50 ft on center in RM districts. The minimum width of the planting strip is 5 ft. The property’s width along Russ Avenue is approximately 250 ft. Therefore, 6 street trees are required. The plan shows 6 street trees with three (3) of them along Russ Avenue frontage and three (3) other ones relocated at Mauney Cove Road in order to maintain site triangles and safe maneuvering of the EMS vehicles at Russ Avenue entrances. The width of the planting strip is approximately 10 ft off Russ Avenue. LDS allows for alternative landscaping where unreasonable, unsafe, or impractical situations would result (LDS 8.2.4).
- Street trees and sidewalk are located between the road and the property line, within the NC DOT right-of-way. The developer will coordinate these activities with the NC DOT.
- LDS 8.6.1 requires that parking lots shall be screened from sidewalks, streets, and adjacent properties by a semi-opaque screen that incorporate a low screen from the ground to at least a height of 3.5 ft along with canopy trees planted with a maximum spacing of 30 feet on-center. The plan shows the landscape buffer along the southern parking lot. **Canopy trees need to be incorporated into the buffer.**
- Parking lot landscaping is required for the lots containing more than six (6) spaces. The proposed plan indicates ten (10) spaces, including one ADA space. Per LDS 8.6.2, no parking space shall be more than 40 feet from the base of a canopy tree. One canopy tree per 12 parking space is required. **The plan will meet this requirement after incorporating canopy trees into the southern parking lot buffer.**
- Any dumpsters and utility structures need to be screened from the adjacent property or streets (LDS 8.7.1). The screen for mechanical equipment is indicated on the east and west elevations. The same standard is applicable for any dumpster areas. LDS 8.7.1(A) allows landscaping to serve as a buffer.

LDS Chapter 9- Parking and Driveways:

- Required parking for government services is one spot per 600 sf (LDS 9.2.1). The building of 3,870 sf needs 7 spaces, and 10 are provided, including one ADA space. No bike rack is required because the lot has fewer than 20 spaces.

- There are no restrictions for a parking lot location on site for government services in RM (LDS 9.3).
- The project will obtain a driveway permit through the NC DOT. There is no minimum driveway spacing requirement in RM (LDS 9.8.3). However, Town fire officials ask that at least one of the 16-ft driveways connecting to Russ Avenue need be widened to 20 ft in order to serve as a fire apparatus access road, as indicated earlier.

Lighting (LDS Chapter 10):

None currently proposed. All lighting is subject to the town's lighting ordinances, which include, but are not limited to, a detailed light plan and design standards.

Signs (LDS Chapter 10):

A separate sign permit is required for the proposed ground sign off Russ Avenue and any other signage.

LDS Chapter 12- Environmental:

The property is mostly flat with a gentle slope towards north-west. Because the property slopes in the north-western direction, there will be a retaining wall along the walkway in the back of the building. As a part of the application, the developer submitted an environmental survey which includes the following information:

- Geotechnical report with soil testing and footprints of previous buildings that were removed.
- The site is not within a critical area watershed and does not contain farmland soils.
- The lot is not in the floodplain. Mauney Cove Branch stream runs along the north-western side of the lot. The stream is not classified under major water bodies.
- No conservation easements, wetlands, or environmentally sensitive areas are present.
- Topography and soil conditions: silty, clayey soils with weathered bedrock. Some subsurface construction material from previous structures is present.
- Engineered fill, excavation, subgrade stabilization, slope construction, and pavement recommendations.
- Existing vegetation: potential wildflower pollinator plants, existing vegetation along stream.
- Net impervious surface upon completion: 15,735 sf, which is below stormwater ordinance thresholds.
- Stormwater drainage plan:
 - ✓ *Roof drainage should be collected by a system of gutters and downspouts and directed away from all structures.*
 - ✓ *Sidewalks should be sloped so that water drains away from the structures.*
 - ✓ *Site grading and paving should result in positive drainage away from the structures. Water should not be allowed to pond around the structures or in such locations that would lead to saturation of pavement subgrade materials. A minimum slope of approximately 1/4 to 1/2-inch per foot should provide adequate drainage.*

- ✓ *Backfill for utility lines should be placed in accordance with the requirements for engineered fill to minimize the potential for differential settlement.*

Comment:

Staff submits that:

1. The proposed Major Site Plan is consistent with the 2035 Comp. Land Use Plan’s Goals 1 and 6.
2. The master plan shows general compliance with the ordinance. The approval of the site plan does not exempt it from the requirements of the Building, Fire Codes, and any other laws, rules, or regulations.
3. The plan has infrastructure as required by the ordinance to support the plan as proposed.

The staff recommends that the Board approves this application for the Major Site Plan with the following conditions:

1. The width of both driveways connecting to Russ Avenue need to be adjusted to 20 ft to serve as fire apparatus access road prior to issuance of the building permit.
2. The sidewalk width needs to be adjusted to 6 ft past the connection point to the existing sidewalk.
3. Canopy trees need to be incorporated into the parking lot buffer per LDS 8.6.1 standards.

Attachments:

- Application materials: application, site plan, building elevations, agent authorization forms, environmental survey
- Property maps and images: zoning, topography, street view
- Front setback variance order
- Public Notices

Report For

HAYWOOD COUNTY
HAYWOOD COUNTY COURTHOUSE
215 N MAIN ST
WAYNESVILLE, NC 28786

Account Information

PIN: 8616-38-5985
Deed: 1095/1474

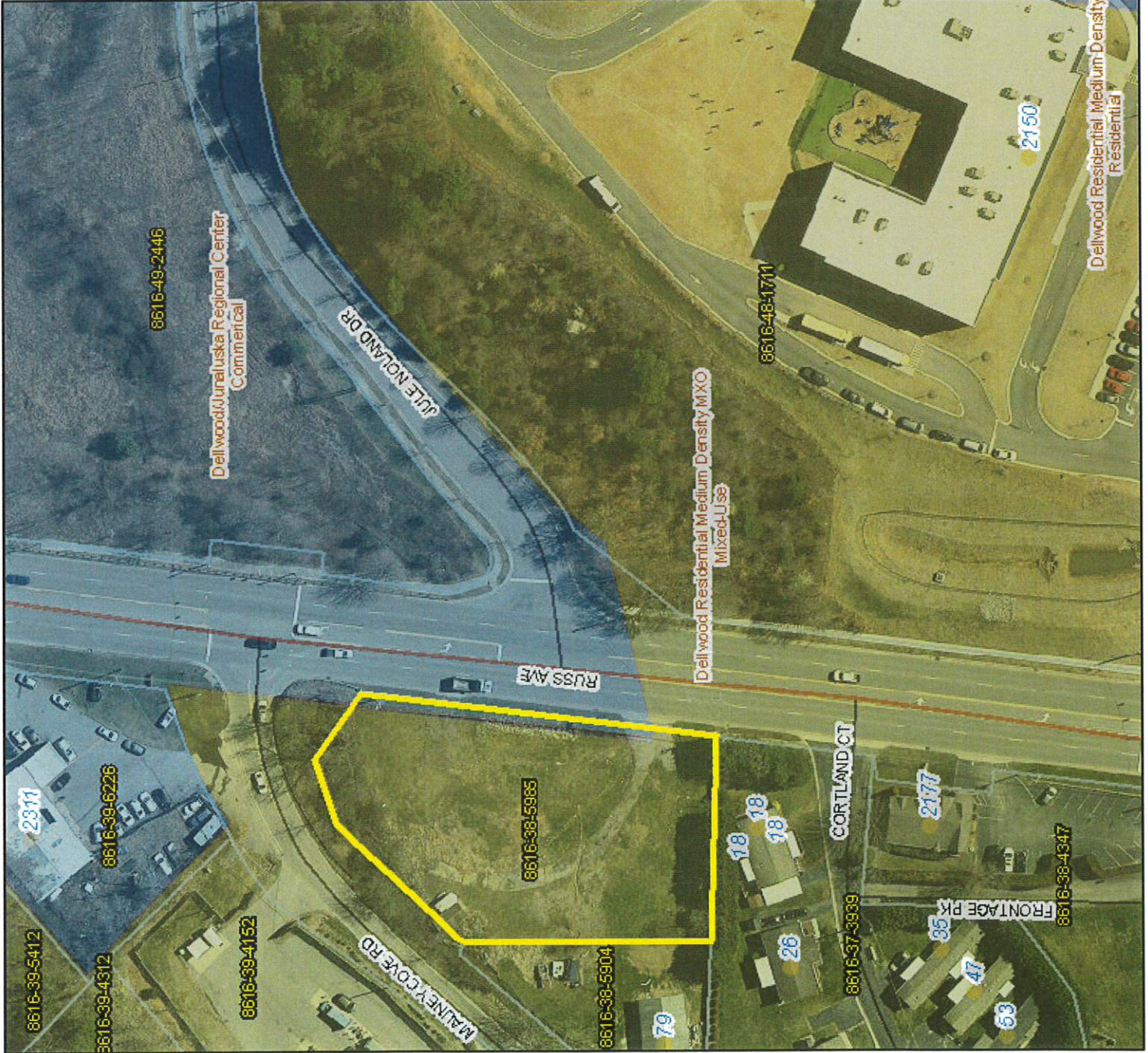
52673
413/1375

Site Information

RUSS AVE
Heated Area:
Year Built:
Total Acreage: Acres
Township: Town of Waynesville

Site Value Information

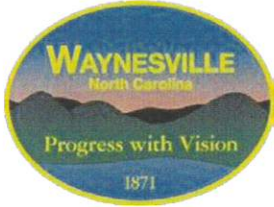
Land Value:
Building Value:
Market Value:
Deferred Value:
Assessed Value:
Sale Price:
Sale Date: 10/4/2023
Tax Bill 1:
Tax Bill 2:



1 inch = 100 feet
June 19, 2024

27

Disclaimer: The maps on this site are not surveys. They are prepared from the inventory of real property found within this jurisdiction and are compiled from recorded deeds, plats and other public records and data. Users of this site are hereby notified that the aforementioned public primary information sources should be consulted for verification of any information contained on these maps. Haywood county and the website provider assume no legal responsibility for the information contained on these maps.



**TOWN OF WAYNESVILLE
Development Services Department**

9 South Main Street, Suite 110
Waynesville, NC 28786
Phone (828) 456-8647 • Fax (828) 452-1492
www.waynesvillenc.gov

APPLICATION FOR MAJOR SUBDIVISION OR SITE PLAN

DESCRIPTION OF PROPERTY

PROPERTY OWNER(S) OF RECORD: KRIS BOYD

PARENT PARCEL IDENTIFICATION NUMBER(S): # 8616-38-5985

PROPERTY LOCATION: 2249 Russ Ave. Waynesville NC 28786

ZONING: Medium density mixed use overlay

LAND USE AT TIME OF APPLICATION: vacant lot

APPLICANT (IF DIFFERENT FROM OWNER): Bryant Morehead

Note: Authorization to apply form must be submitted with the application if applicant is different from owner.

MAILING ADDRESS: Haywood County Government, 215 N Main Street Waynesville, NC

PHONE NUMBER: 828-452-6625

RELATIONSHIP TO PROPERTY OWNER: County Manager

DESCRIPTION OF PROJECT

NUMBER OF ORIGINAL LOTS: 1 LOT NUMBER OF PROPOSED LOTS: 1 LOT

NUMBER OF UNITS/DENSITY: 1 BUILDING

REGISTERED LAND SURVEYOR/DRAWING NUMBER: C0.2 , WADE TRIM/ ED HOLMES & ASSOC. REGISTERED North Carolina PLS# L-4815

APPLICATION COMPLETENESS (See LDS Section 15.9): section is 15.8.2.

- ENVIRONMENTAL SURVEY
- MASTER PLAN OR PRELIMINARY PLAT
- OTHER INFORMATION / PROJECT DESCRIPTION (attach sheets as necessary):

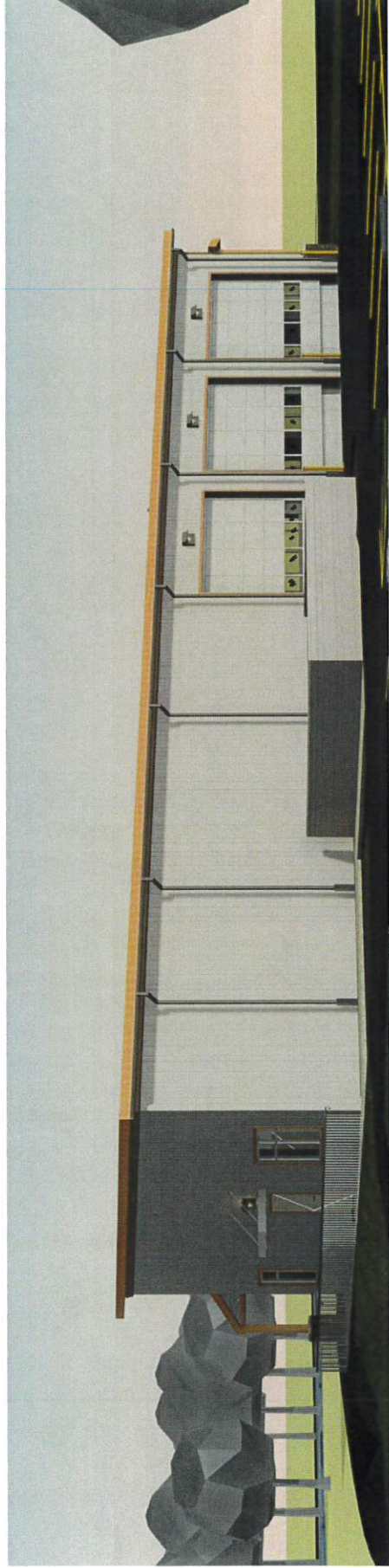
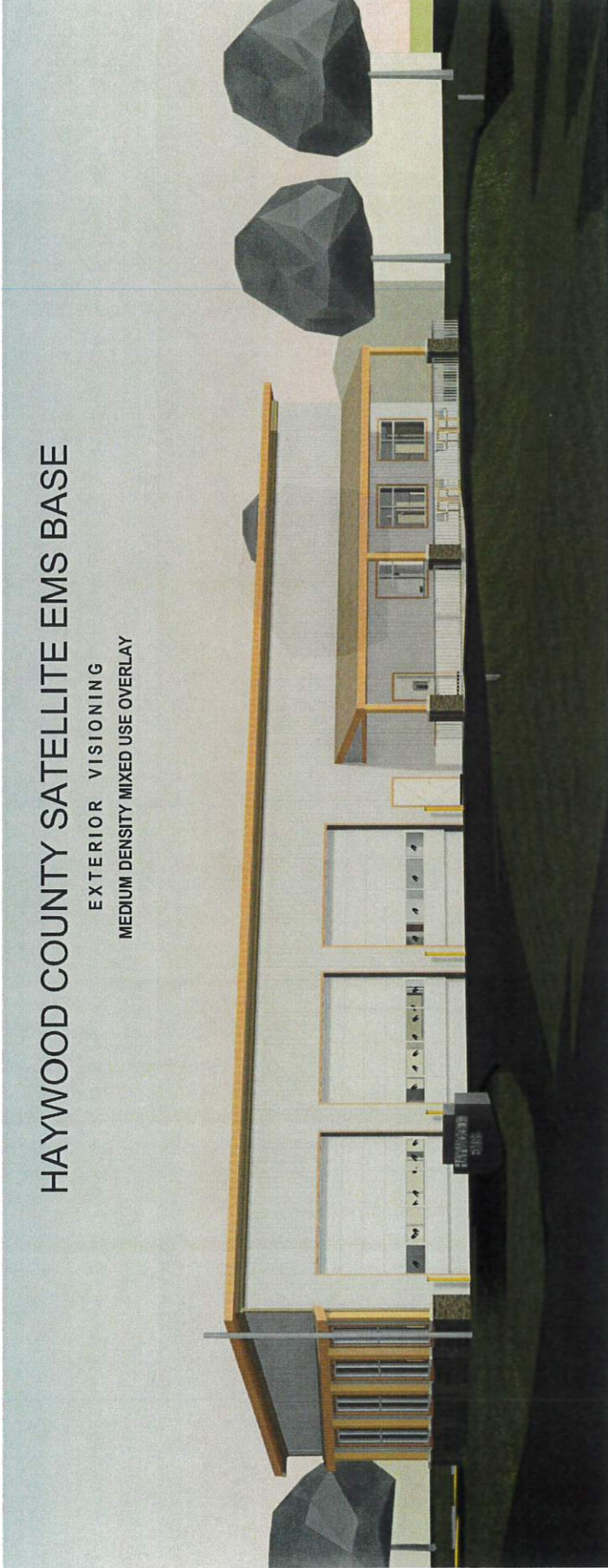
SIGNATURE OF APPLICANT:

Bryant Morehead

DATE: 06/25/2024

HAYWOOD COUNTY SATELLITE EMS BASE

EXTERIOR VISIONING
MEDIUM DENSITY MIXED USE OVERLAY



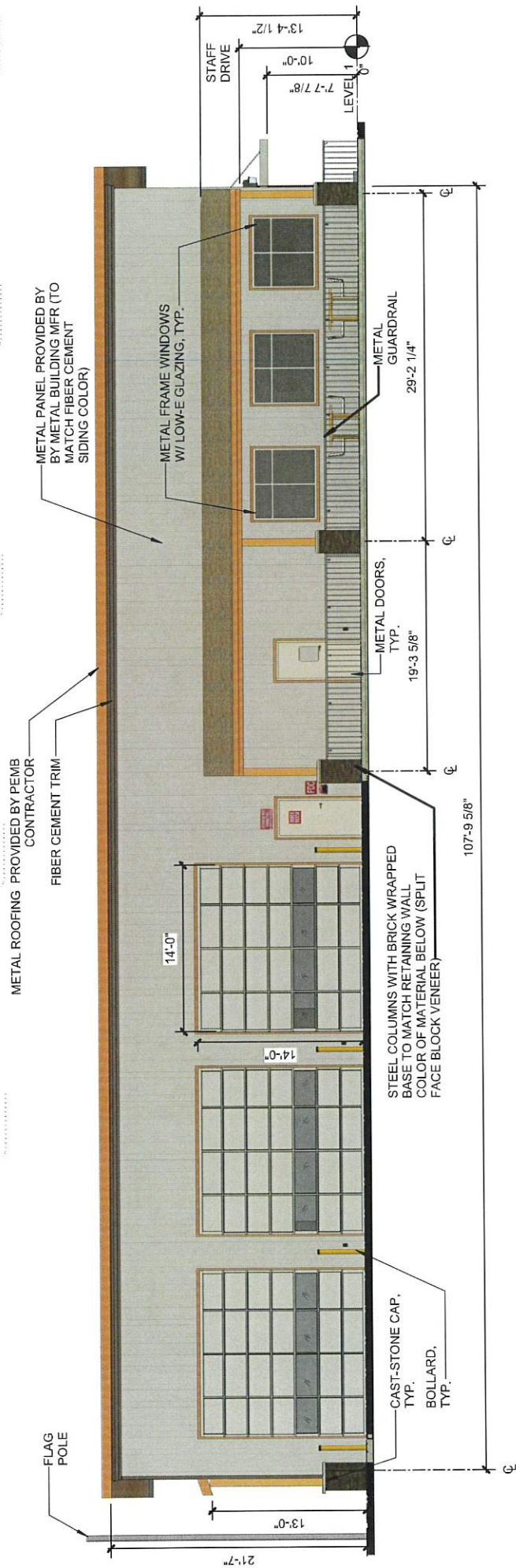
VANNOY

HAYWOOD COUNTY SATELLITE EMS BASE

LSP

3D VIEWS
06-26-2024

30



EXTERIOR ELEVATION - NORTH - EMS ENTRY

1/8" = 1'-0"

1

SHEET AP-007

NORTH ELEVATION
06-26-2024



VANNOY
HAYWOOD COUNTY SATELLITE EMS BASE

31

162 (WINDOW) SF +171 (RELIEF ELEMENTS) SF= 333 SF> 330 SF
(HALF OF TOTAL WALL)

VERTICALLY ORIENTED
WINDOWS OF AT LEAST
2:1 RATIO.

FIBER CEMENT

RELIEF IN THE FACADE OCCURS
ON MANY LEVELS.

FLAG POLE

FIBER CEMENT TRIM

MECHANICAL SCREENING
PROVIDED BY PEWB
CONTRACTOR

CONCRETE
CAP-STONE

GLAZING THAT IS
TRANSPARENT UNDER ALL
LIGHTING CONDITIONS

A WATER TABLE MADE UP OF LARGE, QUALITY MASONRY
UNITS (SUCH AS CUT OR HEW STONE) OR MADE OF
SMALLER MASONRY UNITS THAT EXTEND BEYOND THE
FACE OF THE FACADE IN ORDER TO CLEARLY
DELINEATE THE WATER TABLE.



EAST ELEVATION (RUSS AVE.)

1/8" = 1'-0"

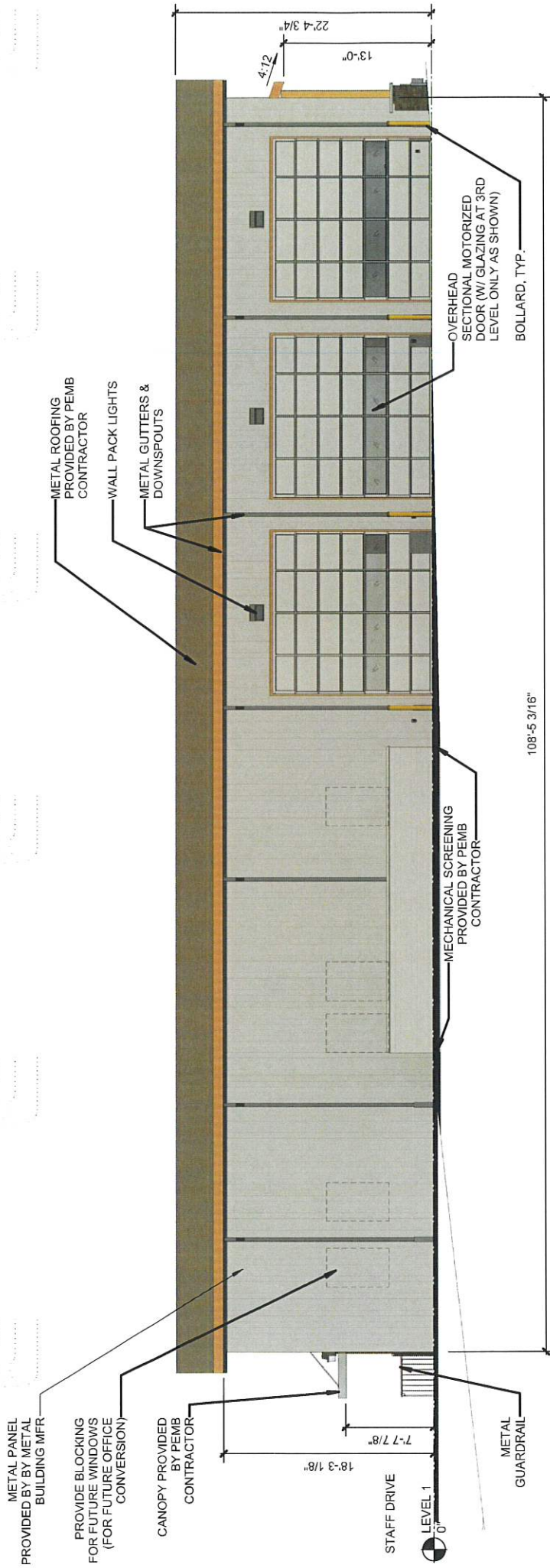
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SCALE: 1/8"=1'-0"

SHEET AP-008

VANNOY **LSJP** EAST ELEVATION 06-26-2024
HAYWOOD COUNTY SATELLITE EMS BASE



1 SOUTH ELEVATION

1/8" = 1'-0"



SHEET AP-009

33



WEST ELEVATION

1/8" = 1'-0"

1



SHEET AP-010

VANNOY

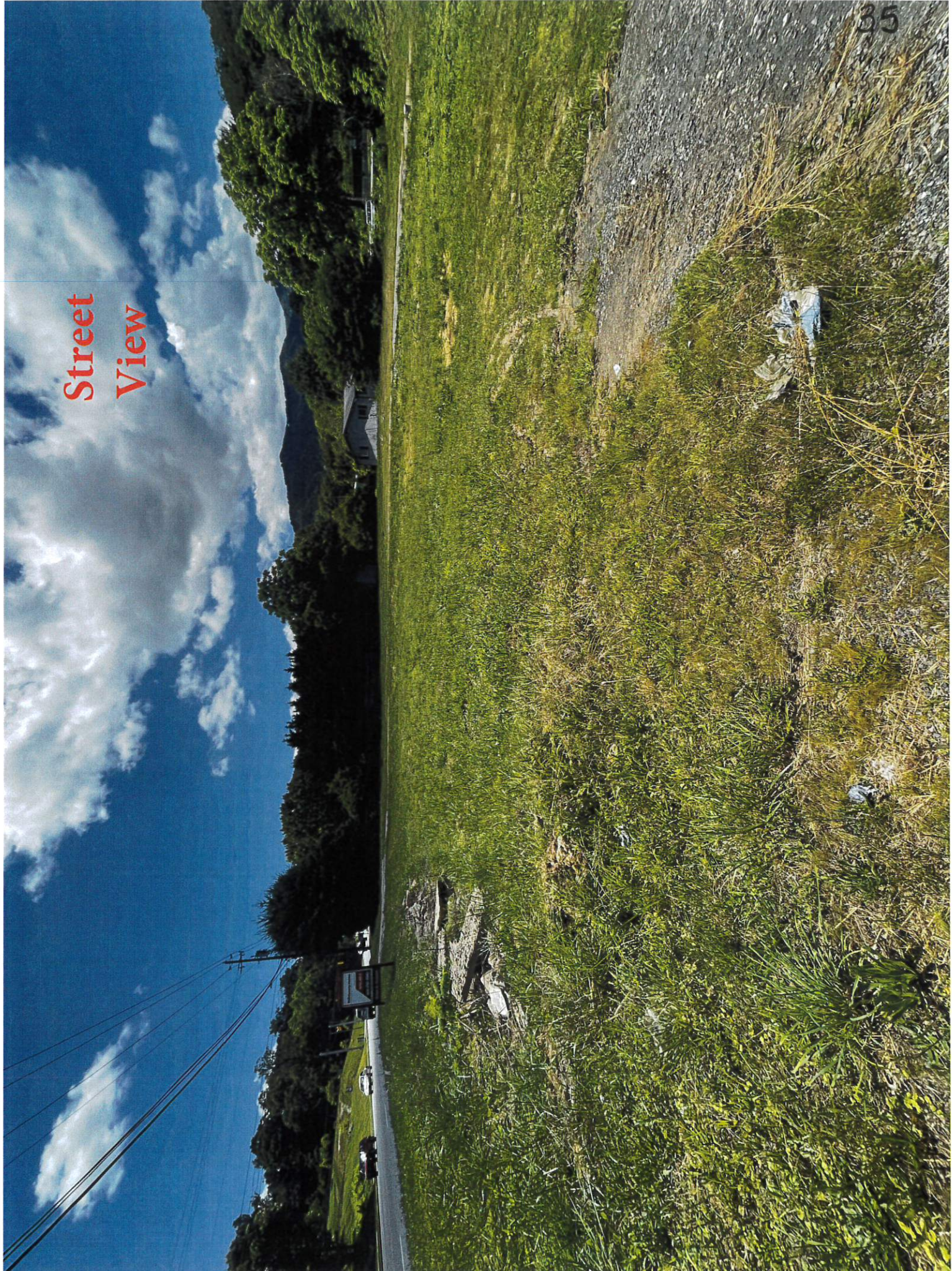
HAYWOOD COUNTY SATELLITE EMS BASE

LSP

WEST ELEVATION

06-26-2024

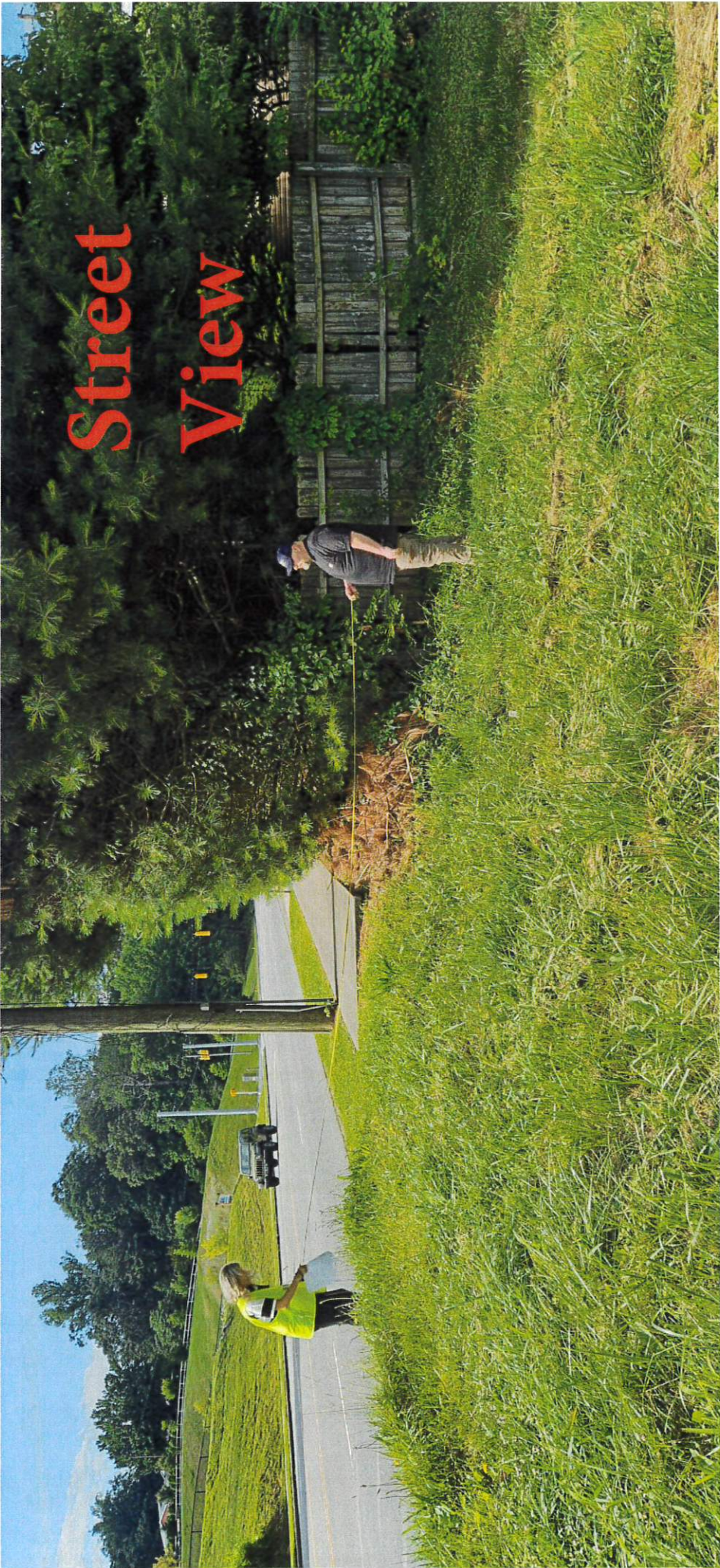
Street View



36

Street View



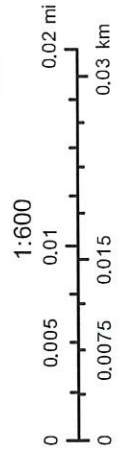


Street View

Haywood County



June 20, 2024



37 B

Stream



**AUTHORIZATION FOR AGENT TO
APPEAR BEFORE WAYNESVILLE PLANNING BOARD,
ZONING BOARD OF ADJUSTMENT, OR TOWN COUNCIL**

The undersigned Owner or Party with a contract or option to purchase that real property located at 2249 Russ Ave. Waynesville NC 28786 in Waynesville or the ETJ area of Waynesville, North Carolina, has submitted an application which is to be heard in a proceeding by Board(s) of the Town of Waynesville, North Carolina. I hereby authorize the following named individual to present my application and case, as my agent at such hearings.

Name of Authorized Agent: Frank Queen

Title and Company: Haywood - County Attorney

Address: 154 N Main St STE 2, Waynesville, NC 28786

Phone and email: Frank.Queen@haywoodcountync.gov > 828.452.3336. (O)

This authorization shall be good through the completion of the project for which the zoning text or map amendment, special use permit, subdivision, variance or appeal, or other Town approval is requested, or until revoked in writing. The Town of Waynesville may rely on this authorization until it is given notice of the revocation of this authorization or of a change of property ownership takes place.

This the 2nd day of July, 2024.

Owner or Party with Contractual Interest in Property:
Assistant County Manager

Kris Boyd Haywood County

kris.boyd@haywoodcountync.gov

Address and phone number:

(828) 452-6650 – Office

(828) 507-9081 - Mobile

215 N MAIN STREET

WAYNESVILLE, NC 28786

**AUTHORIZATION FOR AGENT TO
APPEAR BEFORE WAYNESVILLE PLANNING BOARD,
ZONING BOARD OF ADJUSTMENT, OR TOWN COUNCIL**

The undersigned Owner or Party with a contract or option to purchase that real property located at 2249 Russ Ave. Waynesville NC 28786 in Waynesville or the ETJ area of Waynesville, North Carolina, has submitted an application which is to be heard in a proceeding by Board(s) of the Town of Waynesville, North Carolina. I hereby authorize the following named individual to present my application and case, as my agent at such hearings.

Name of Authorized Agent: Jennifer Dreisbach

Title and Company: LS3P (Architect)

Address: 14 O'Henry Ave suite 210, Asheville, NC 28801

Phone and email: jennydreisbach@ls3p.com 828.575.1813. (O) 828.575.1800 (M)

This authorization shall be good through the completion of the project for which the zoning text or map amendment, special use permit, subdivision, variance or appeal, or other Town approval is requested, or until revoked in writing. The Town of Waynesville may rely on this authorization until it is given notice of the revocation of this authorization or of a change of property ownership takes place.

This the 15th day of July, 2024.

Owner or Party with Contractual Interest in Property:
Assistant County Manager
Kris Boyd Haywood County
kris.boyd@haywoodcountync.gov

Address and phone number:
(828) 452-6650 – Office
(828) 507-9081 - Mobile
215 N MAIN STREET
WAYNESVILLE, NC 28786

**AUTHORIZATION FOR AGENT TO
APPEAR BEFORE WAYNESVILLE PLANNING BOARD,
ZONING BOARD OF ADJUSTMENT, OR TOWN COUNCIL**

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Name of Authorized Agent: Lance Haney

Title and Company: Vannoy Construction | Project Manager

Address: 1500 Ridgefield Blvd | Asheville, NC 28806

Phone and email: Lance.Haney@JRVannoy.com (828) 707-6285

This authorization shall be good through the completion of the project for which the zoning text or map amendment, special use permit, subdivision, variance or appeal, or other Town approval is requested, or until revoked in writing. The Town of Waynesville may rely on this authorization until it is given notice of the revocation of this authorization or of a change of property ownership takes place.

This the 2nd day of July, 2024.

Owner or Party with Contractual Interest in Property:
Assistant County Manager
Kris Boyd Haywood County

kris.boyd@haywoodcountync.gov

Address and phone number:
(828) 452-6650 – Office
(828) 507-9081 - Mobile
215 N MAIN STREET
WAYNESVILLE, NC 28786

**AUTHORIZATION FOR AGENT TO
APPEAR BEFORE WAYNESVILLE PLANNING BOARD,
ZONING BOARD OF ADJUSTMENT, OR TOWN COUNCIL**

The undersigned Owner or Party with a contract or option to purchase that real property located at 2249 Russ Ave. Waynesville NC 28786 in Waynesville or the ETJ area of Waynesville, North Carolina, has submitted an application which is to be heard in a proceeding by Board(s) of the Town of Waynesville, North Carolina. I hereby authorize the following named individual to present my application and case, as my agent at such hearings.

Name of Authorized Agent: Scott Donald

Title and Company: LS3P (Senior Project Manager | Vice President | Principal)

Address: 14 O'Henry Ave suite 210, Asheville, NC 28801

Phone and email: scottdonald@ls3p.com 828.575.1813. (O) 828.215.6551 (M)

This authorization shall be good through the completion of the project for which the zoning text or map amendment, special use permit, subdivision, variance or appeal, or other Town approval is requested, or until revoked in writing. The Town of Waynesville may rely on this authorization until it is given notice of the revocation of this authorization or of a change of property ownership takes place.

This the 2nd day of July, 2024.

Owner or Party with Contractual Interest in Property:
Assistant County Manager

Kris Boyd Haywood County

kris.boyd@haywoodcountync.gov

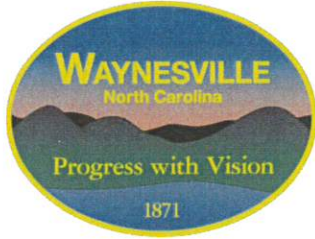
Address and phone number:

(828) 452-6650 – Office

(828) 507-9081 - Mobile

215 N MAIN STREET

WAYNESVILLE, NC 28786



TOWN OF WAYNESVILLE

Development Services Department

PO Box 100

9 South Main Street

Waynesville, NC 28786

Phone (828) 456-8647 • Fax (828) 452-1492

www.waynesvillenc.gov

FOR PUBLICATION IN THE MOUNTAINEER: June 26th and July 3rd (Wednesday) editions

Date: June 18, 2024

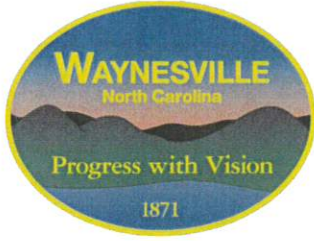
Contact: Olga Grooman, (828) 356-1172

Notice of Public Hearings (2) Town of Waynesville Planning Board

The Town of Waynesville Planning Board will hold two (2) public hearings on **Monday, July 15, 2024 at 5:30 pm** in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider:

1. A major site plan application for the 0.83-acre unaddressed parcel off Russ Avenue in Waynesville, NC 28786 (PIN 8616-38-5985). The site is a proposed location for the Haywood County EMS facility.
2. An amendment to the Conditional District for four (4) properties off Allison Acres Drive (PINs 8615-88-1632, 8615-88-4442, 8615-88-1854, and 8615-88-3857). The properties contain 7.73 acres. This is a proposed 50-unit development of single-family homes and townhomes.

For more information contact the Development Services Department at: (828) 356-1172, email: ogrooman@waynesvillenc.gov, mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.



TOWN OF WAYNESVILLE

Development Services Department

PO Box 100

9 South Main Street

Waynesville, NC 28786

Phone (828) 456-8647 • Fax (828) 452-1492

www.waynesvillenc.gov

June 24, 2024

Notice of Public Hearing Town of Waynesville Planning Board

The Town of Waynesville Planning Board will hold a public hearing on **Monday, July 15, 2024 at 5:30 pm** in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider a major site plan application for the 0.83-acre unaddressed parcel off Russ Avenue in Waynesville, NC 28786 (PIN 8616-38-5985). The site is a proposed location for the Haywood County EMS facility.

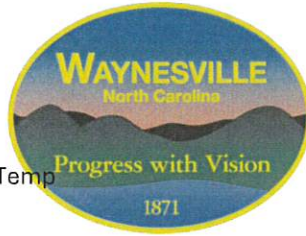


Questions related to the hearing itself should be directed to the Waynesville Development Services Department, (828) 356-1172, ogrooman@waynesvillenc.gov.

**PROPERTY
POSTED ON
6-24-24**

NAI Beverly-Hanks
COMMERCIAL REAL ESTATE
AVAILABLE
828-210-3940
Brian K. Noland

THE TOWN OF WAYNESVILLE
PLANNING BOARD
WILL HOLD A PUBLIC HEARING
ON JULY 15, 2024, AT 5:30 PM
IN THE TOWN HALL BOARD ROOM
AT 9 SOUTH MAIN ST.
TO CONSIDER A
MAJOR SITE PLAN
CONTACT THE DEVELOPMENT SERVICES DEPARTMENT
T: 828-456-8647



Gary Caldwell, Mayor
Clarence "Chuck" Dickson, Mayor Pro Temp
Julia Freeman, Council Member
Jon Feichter, Council Member
Anthony Sutton, Council Member

Robert W. Hites, Jr. Town Manager
Martha Bradley, Town Attorney

Utilities Letter

Date: June 24, 2024

Re: Haywood County EMS (PIN # 8616-38-5985)

Cc: Olga Grooman, Assistant Development Services Director

To whom it may concern,

For the referenced parcel, the Town of Waynesville can provide water and sewer service. Electric Service will be provided by Duke Energy. We would recommend an easement between 10 and 20 ft. for the existing sewer infrastructure. This easement will ensure that maintenance can be conducted, and the line can be exhumed if necessary in a safe manner. If you have any questions, feel free to contact me.

Sincerely,
Jeff Stines
Director of Public Services
Town of Waynesville

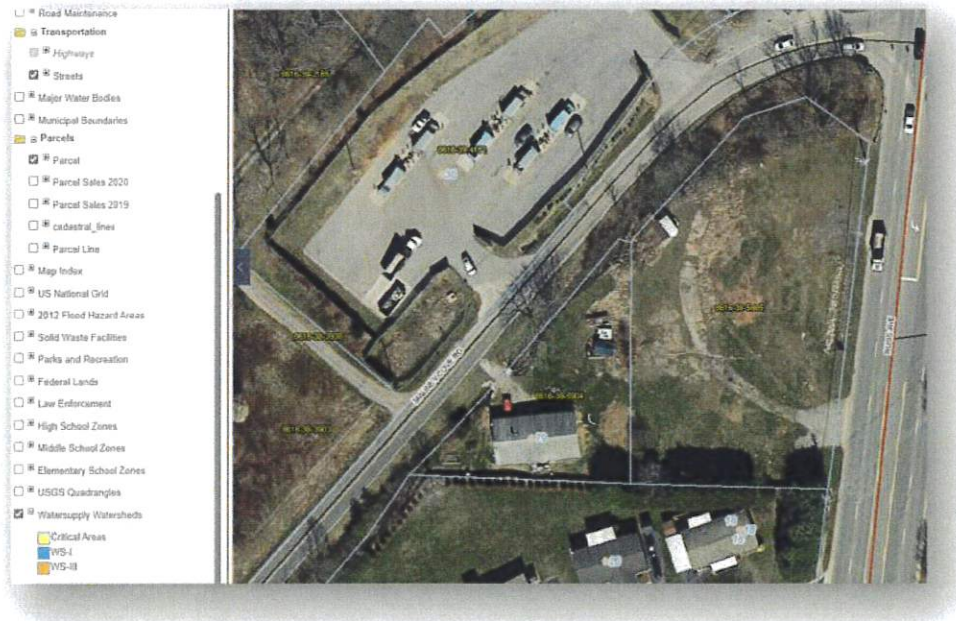
Abstracts from Environmental Survey

Due diligence activities are underway for a property located at the southwest quadrant of the intersection of Russ Avenue and State Road 1204 in Waynesville, Haywood County, North Carolina. The Site under consideration for purchase is identified with Haywood County PIN # 8616-38-5985 and consists of 0.83 acres. Based on online aerial imagery, it appears that there were several buildings on the site prior to 2020. These buildings have since been removed from the site.

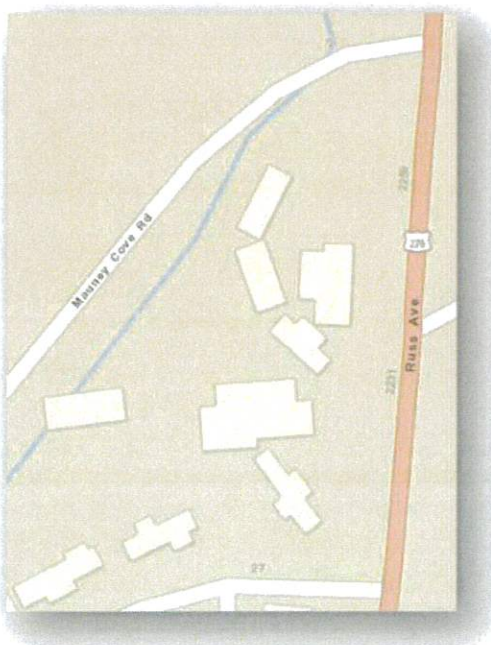
It is the requirement that readily available spatial data (prior to the advanced preparation of development plans), including:

- GIS information:

Not in a critical area watershed



15.4.1 Environmental Survey for 0751-232089 Haywood County Satellite EMS Base:



Pg 4/30 – Geotechnical report highlighting history of previously shown footprints of buildings that were removed.

Due diligence activities are underway for a property located at the southwest quadrant of the intersection of Russ Avenue and State Road 1204 in Waynesville, Haywood County, North Carolina. The Site under consideration for purchase is identified with Haywood County PIN # 8616-38-5985 and consists of 0.83 acres. Based on online aerial imagery, it appears that there were several buildings on the site prior to 2020. These buildings have since been removed from the site.

It is the requirement that readily available spatial data (prior to the advanced preparation of development plans), including:

- GIS information:

Not in a critical area watershed



Not in farmland soils



In a re-evaluation neighborhood



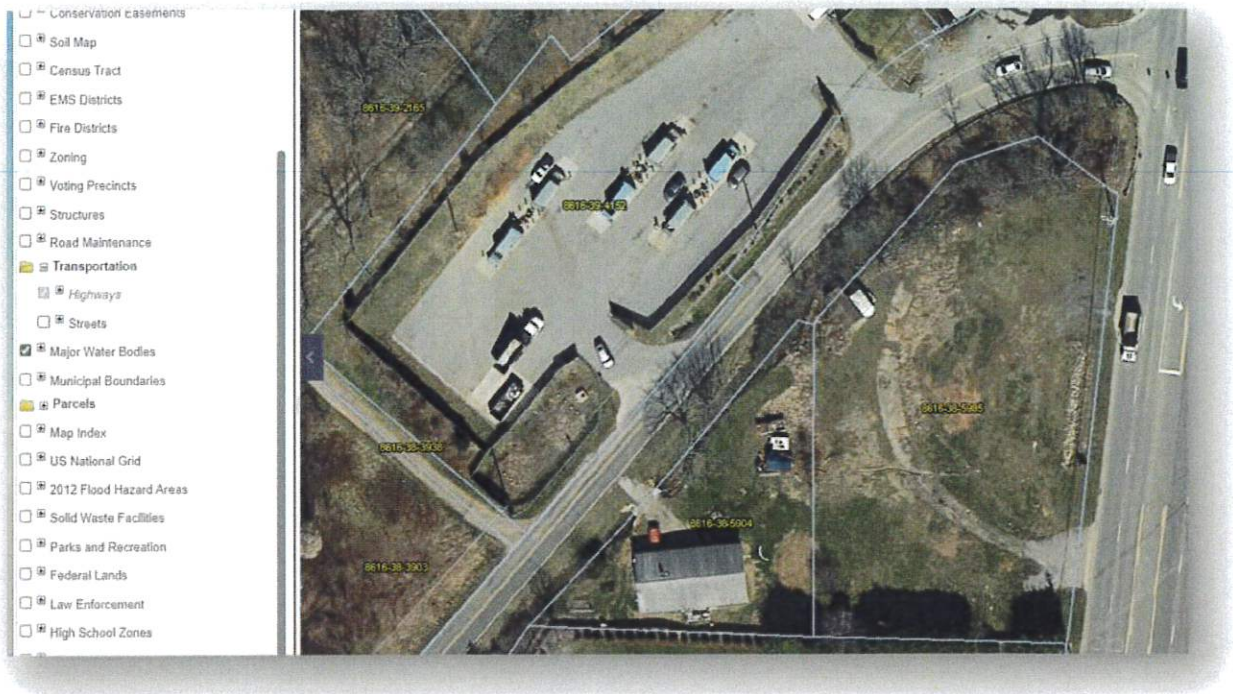
Floodplain/ floodway designation – Not in a flood hazard area



In a city municipality boundary



natural features – Mauney cove branch stream (not classified under major water bodies)



wetlands delineation/ environmentally sensitive areas – no conservation easement designation per GIS
No observed endangered species habitats on site



Natural Resources Inventory: below is a graphic inventory of natural resources at the site and surrounding area (as it exists prior to the commencement of the project).

Geologic features:

- boundaries of existing predominant vegetation
- identification of existing trees/forest cover



- location and boundaries of natural feature protection:
 - Proximity map: 1800 ft (as the crow flies) from lake Junaluska



other setbacks (e.g., drinking water well setbacks, septic setbacks, etc.). – not applicable site has utilities

- understory vegetation / existing watercourses/ perennial streams



- topographical features:



- Topography (6/13/24 survey information) – 13' approx. grading difference between north and south of the lot for existing topo



New grading plan

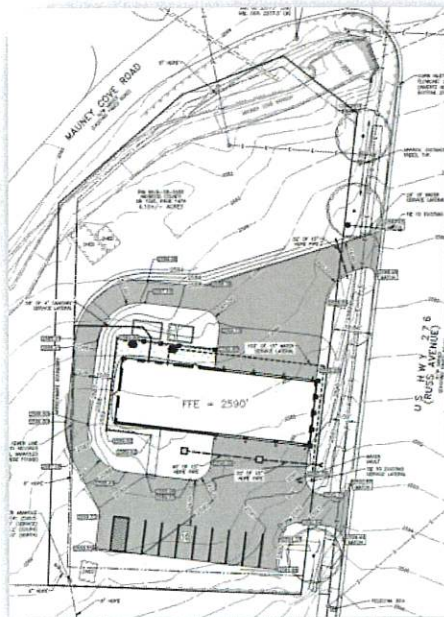




Table 1: Groundwater Summary

Test Pit Number	Groundwater Depths, ft	
	Time of Excavation	End of Day
TP-1	Dry	Dry ^(a)
TP-2	Dry	Dry ^(a)
TP-3	Dry	Dry ^(a)
TP-4	Dry	7.0 ^(a)
TP-5	Dry	Dry ^(a)
TP-6	6.0	5.0 ^(b)
TP-7	6.0	6.0 ^(b)

(a) Reading taken 2 hours after excavation.
 (b) Reading taken 1 hour after excavation.


The above descriptions provide a general summary of the subsurface conditions encountered. The letters in parentheses represent a visual classification of the soils in accordance with the Unified Soil Classification System. A key to symbols and classification is included as Appendix D. The Test Pit Logs included as Appendix C contain detailed information recorded at each test pit location. The Test Pit Logs represent our interpretation of the field logs based on engineering examination of the field samples. The lines designating the interfaces between various strata represent approximate boundaries and the transition between strata may be gradual. It should be noted that the soil conditions will vary between test pit locations.

Building site and asphalt shown as approx. image is predominantly for **test pit locations**

TEST PIT LOG

Job Name: Haywood County EMS		Location: TP-1
Job Number: JZ3-20569-02		Date Logged: 8/14/23
Approximate Elevation: Unknown		Logged By: Colin O'Doherty
Depth (Feet)		Stratum Description
From	To	
0'	4'	4" Organic layer (Root Matt & Topsoil)
4'	3.5'	Boulders, cobbles, concrete rubble, metal, plastic pipe, burned wood, with poorly graded sand - (Fill/Construction Debris)
3.5'	6'	Loose, moist to wet, tan to brown, micaceous, fine to medium SAND (SM) - (Fill)
6'	7'	Firm, moist to wet, tan to brown, silty, fine to medium SAND (SM) with rounded cobbles - (Alluvium)


Remarks and Notes:
 Test pit encountered refusal at 7 feet due to large boulders/cobbles.
 No groundwater was encountered at time of excavation or two hours after excavation.
 Test pit backfilled with excavated material.



TEST PIT LOG

Job Name: Haywood County EMS		Location: TP-2
Job Number: JZ3-20569-02		Date Logged: 8/14/23
Approximate Elevation: Unknown		Logged By: Colin O'Doherty
Depth (Feet)		Stratum Description
From	To	
0'	4'	4" Organic layer (Root Matt & Topsoil)
4'	1.5'	Loose, gray to brown, damp, gravelly, fine to medium SAND (SW) - (Fill)
1.5'	5.5'	Loose, dark brown, moist, silty, fine to medium SAND (SM) with rounded cobbles - (Fill/Alluvium)
5.5'	8'	Loose, wet, tan to white, sandy SILT (ML) - (Residium)


Remarks and Notes:
 Test pit terminated at 8 feet.
 No groundwater was encountered at time of excavation or two hours after excavation.
 Test pit backfilled with excavated material.
 4-inch perforated, black, plastic pipe encountered at 0.5 feet and 4-inch white, plastic pipe encountered at 1.5 feet.



TEST PIT LOG

Job Name: Haywood County EMS		Location: TP-3
Job Number: JZ3-20569-02		Date Logged: 8/14/23
Approximate Elevation: Unknown		Logged By: Colin O'Doherty
Depth (Feet)		Stratum Description
From	To	
0'	8"	8" Concrete
8"	4'	Loose, red to brown, moist, silty, fine to medium SAND (SM) - (Fill)
4'	6'	Firm, red to brown, moist to wet, silty, fine to coarse SAND (SM) with rounded cobbles - (Alluvium)
5.5'	8'	Loose, moist to wet, tan to white, micaceous, silty, fine to coarse SAND (SM) - (Residium)


Remarks and Notes:
 Test pit terminated at 8 feet.
 No groundwater was encountered at excavation or two hours after excavation.
 Test pit backfilled with excavated material.



TEST PIT LOG

Job Name: Haywood County EMS		Location: TP-4
Job Number: JZ3-20569-02		Date Logged: 8/14/23
Approximate Elevation: Unknown		Logged By: Colin O'Doherty
Depth (Feet)		Stratum Description
From	To	
0'	4'	4" Organic Layer (Root Matt & Topsoil)
4'	1'	Loose, moist, red to tan, silty, fine to coarse SAND (SM) - (Fill)
1'	2.5'	Cobbles, boulders, bricks, ceramic tiles, metal pipe, plastic Styrofoam with some dark brown silty sand - (Fill/Construction Debris)
2.5'	5.5'	Soft, wet, dark gray to black CLAY (CL) with rounded cobbles - (Alluvium)
5.5'	8'	Loose to firm, wet, white to gray/tan, fine to coarse SAND (SW) - (Residium)

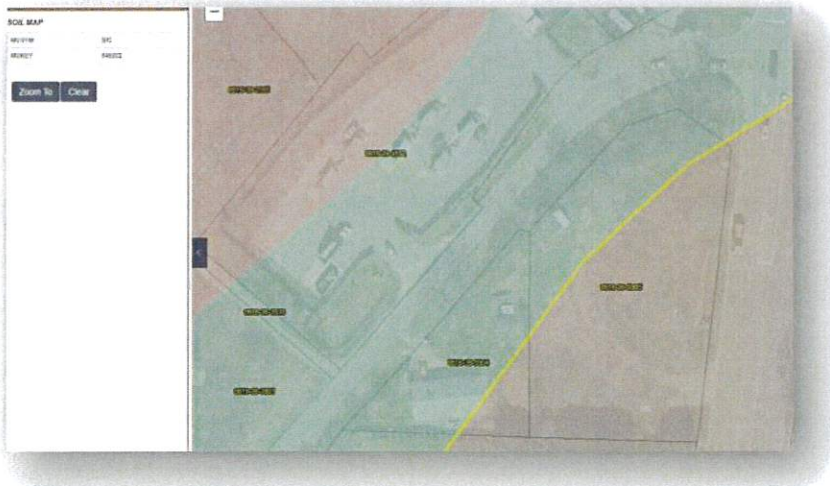
Remarks and Notes:
 Test pit terminated at 8 feet.
 No groundwater was encountered at time of excavation.
 Groundwater at 7 feet 2 hours after excavation.
 Test pit backfilled with excavated material.



- soil types – Dha (Musym), Mukey 546759 (along river area) – per GIS



- SfC (Musym), Mukey 546802 (for portion of site where building plans to reside) – per GIS



Environmentally sensitive features:

- For our site this, the stream is the most environmentally sensitive feature.
- Construction preparations will align with the Erosion and Sediment Control (E&SC) Program ([Erosion and Sediment Control | NC DEQ](#)).

Stormwater management development

- Constraints met:
 - 3,870 sf building + 11,865 sf asphalt paving = 15,735 total impermeable area is less than the 24,000 SF (for stormwater requirements threshold).
- Opportunities:
 - Planning on planting trees (typically called for along street front to be reassigned to planting alongside of the river, to assist with preventing streambed erosion.
 - Otherwise the existing streambed & surrounding vegetation that assists with filtration from rainfall to stream will remain undisturbed to allow for the existing natural vegetation ecosystem stability.

LD

8.0 ANALYSIS AND DESIGN RECOMMENDATIONS

Since the site was previously developed and buried construction debris (bricks, concrete, burned wood, ceramic tiles, plastic and metal) was uncovered at test pit locations, the site in its current condition is not well-suited for development and loading, even with the relatively light loads anticipated. Previously filled sites such as this one, with undocumented fills, carry with them inherent risks when developing.

Accordingly, BLE presents the following two options for consideration:

- **OPTION A: Site Remains at Existing Grade:** Removal of the undocumented fill within the limits of the building footprint and 10 feet outside all building lines. The depth of excavation should extend to a depth of at least twice the width of the footing, below the bottom of footing. The excavated soil should be replaced with approved and compacted structural fill (see Section 9.6). Some subgrade stabilization may be required (see section 9.4) at the bottom of the excavation. This process may be complicated by the presence of groundwater.
- **OPTION B: Site is Raised 3 – 4 feet:** Removal of all fill containing construction debris from the proposed building and paved areas (currently estimated removal depth of 2 to 3 feet) and then raising site grades such that the thickness of improved soils between the bottom of the foundation and the top of the subgrade should be at least twice the width of the footing foundations. If this option is followed, the subgrade may then require stabilization (See Section 9.4 of this report), and approved fill be then placed and compacted in accordance with the requirements of structural fill (See Section 9.6) until the desired subgrade elevation is achieved.

These recommendations can be further evaluated by BLE at the time of construction.

8.1 Foundations

Provided that the site is prepared with the recommendations of this report, we recommend an allowable bearing capacity of 2,000 psf be utilized when designing foundations. We recommend that the minimum widths for individual column and continuous wall footings be 24 and 18 inches, respectively. The minimum widths are considered advisable to provide a margin of safety against a local or punching shear failure of the foundation soils. Exterior/perimeter footings should bear at least 30 inches below final exterior grade for embedment needed to develop the recommended allowable design bearing pressure range and to provide frost protection.

The same protective embedment recommended for the interior and exterior footings should be used for the thickened perimeter and interior portions of a monolithic foundation slab, if such a slab is used in lieu of individual strip and spread footing foundations.

Exposure to the environment may weaken the soils at the foundation bearing level if the foundation excavations remain open for long periods of time. Therefore, we recommend that once each foundation excavation is extended to final grade, the foundation be constructed as soon as possible to minimize the potential damage to bearing soils. The foundation bearing area should be level or benched and free of loose soil, ponded water and debris. Foundation concrete should not be placed on soils that have been disturbed by seepage. If the bearing soils are softened by surface water intrusion or exposure, the softened soils must be removed from the foundation excavation bottom prior to placement of concrete. If the excavation must remain open overnight or if rainfall becomes imminent while the bearing soils are exposed, we recommend that a 2 to 4 inch thick "mud mat" of "lean" (2,000 psi) concrete be placed on the bearing soils for protection before the placement of reinforcing steel.

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To observe that the soils encountered in footing excavations are similar to those encountered by the soil test borings, we recommend that foundation excavations be examined. Part of this examination should include checking the bearing soils with a dynamic cone penetrometer performed by an experienced engineering technician working under the direction of the geotechnical engineer.

8.2 Settlement

Assuming foundation loads do not exceed those assumed in the Project Information section above, and that foundations are designed and constructed in accordance with the recommendations presented in this report, we estimate the total foundation settlements to be approximately one inch or less. Maximum differential settlement between adjacent similarly loaded foundations is estimated to be approximately ½ inch or less. These estimates should be re-examined once building loads are developed.

8.3 Grade Slabs

The grade slabs may be soil-supported assuming that the site is prepared in accordance with the recommendations of this report. It is recommended that the slab on grade be uniformly supported on a layer of aggregate base course, as specified in the North Carolina Department of Transportation Standard Specifications for Roads and Structures, 2018 Edition. The aggregate base course layer should have a minimum thickness of at least 6 inches and be compacted to at least 98 percent of its standard Proctor maximum dry density. Based on previous experience with similar soils encountered at this site, a maximum modulus of subgrade reaction (k) equal to 100 pounds per cubic inch should be used for design of slabs on properly prepared subgrades supported by an adequate depth of base course. A vapor barrier should be included below the slab if vapor penetration is not acceptable. The need for a vapor barrier is also dependent on the floor covering type. Floor slabs supported on grade which will be carpeted, tiled, painted or receive some other covering or sealant should incorporate a vapor barrier. The vapor barrier should be installed in accordance with the manufacturer's recommendations.

Completed slabs should be protected from excessive surface moisture prior to and during periods of prolonged, below-freezing temperatures to prevent subgrade freezing and resulting heave. The slab subgrade area should be evaluated by BLE prior to placement of crushed stone.

The grade slab should be jointed around columns and along footing-supported walls so that the slab and foundations can settle differentially without damage. This jointing is not required when slabs and foundations are cast as a single unit (i.e. thickened edge foundations). If slab thickness permits, joints containing dowels or keys may be used in the slab to permit movement between parts of the slab without cracking or sharp vertical displacements.

8.4 Pavement

A site-specific pavement design requires detailed information about projected traffic frequency and intensity, acceptable service limits, life expectancy and other factors which are not currently available. It also requires site specific laboratory testing which was not part of the scope of this exploration. However, Table 2 shows recommended pavement sections based on our experience on similar projects in this region. These pavement sections have demonstrated acceptable performance with subsurface conditions similar to this site.

It is anticipated that some areas of this site may require subgrade stabilization. Assuming that the recommendations in section 9.4 are followed, the pavement sections presented below could be expected to provide adequate performance considering a 15 to 20-year service life. For the purpose of this report, light duty pavement is considered to be subject to automobile traffic, such as a car parking lot. Medium duty

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pavement is considered to be subject to a heavy concentration of automobiles, and occasional loaded trucks, such as drive lanes.

Table 2: Recommended Pavement Sections

Pavement Type	Layers	Material	Thickness (Inches)	
			Light-Duty	Medium Duty
Flexible	a.	Asphaltic concrete surface course	2.5	3
	b.	Aggregate base course	8	10
Rigid	a.	Concrete	6	6

The asphalt surface course should conform to the North Carolina Department of Transportation (NCDOT) Standard Specification, Section 610, for Type S-9.5 Superpave mixture. The base course material should be Aggregate Base Course conforming to NCDOT Standard Specification, Section 520, for Type B aggregate. The base course should be compacted to 100 percent of the standard Proctor (ASTM D-698) maximum dry density. All materials and workmanship should meet the North Carolina Department of Transportation Standard Specifications for Roads and Structures, current edition.

The concrete for rigid pavement should be air-entrained and have a minimum flexural strength (third point loading) of 550 psi which could likely be achieved by a concrete mix having a compressive strength of at least 4,000 psi at 28 days. Recommended air contents from the Portland Cement Association (PCA) are as follows:

<u>Maximum Aggregate Size</u>	<u>Percent Air</u>
1½ inches	5 percent plus or minus 1½ percent
¾ to 1-inch	6 percent plus or minus 1½ percent

In addition, we recommend a maximum slump of 4 inches.

Joint spacing for this concrete thickness should be on the order of 12 to 15 feet. Control joints should be sawed as soon as the cut can be made, without raveling (aggregate pulling out of the concrete matrix) or cracks forming ahead of the saw blade. Joints should be sawed consecutively so that the joints commence working together. The American Association of State Highway and Transportation Officials (AASHTO) suggests that transverse contraction joints should be one quarter of the slab thickness and longitudinal joints should be one third of the slab thickness. All joints should be filled with flexible joint filler.

Curing of the concrete slab should begin as soon as the slab has been finished and the joints sawed. Moist curing by fog spray nozzles or wet burlap is the most dependable curing procedure. Other methods of curing could consist of spray applied curing compounds or covering the slab with waterproof paper or heavy plastic. If paper or plastic is used for curing, the edges of the cover should be anchored and joints between sheets should be taped or sealed.

Related civil design factors such as subgrade drainage, shoulder support, cross-sectional configurations, surface elevations, and environmental factors which will significantly affect the service life must be included in the preparation of the construction drawings and specifications. Normal periodic maintenance will be required.



8.5 Secondary Design Considerations

The following items are presented for your consideration. These items are known to generally enhance performance of structural and pavement systems.

- Roof drainage should be collected by a system of gutters and downspouts and directed away from all structures.
- Sidewalks should be sloped so that water drains away from the structures.
- Site grading and paving should result in positive drainage away from the structures. Water should not be allowed to pond around the structures or in such locations that would lead to saturation of pavement subgrade materials. A minimum slope of approximately ¼ to ½-inch per foot should provide adequate drainage.
- Backfill for utility lines should be placed in accordance with the requirements for engineered fill to minimize the potential for differential settlement.

9.0 CONSTRUCTION RECOMMENDATIONS

9.1 Clearing and Grubbing

Site preparation should include the removal of all unsuitable surface materials (topsoil, vegetation, surface soils containing organic matter or other deleterious materials, building debris, old footings, old utilities etc.) from within the proposed building and pavement areas. Deleterious materials should be disposed of offsite or in areas of the site that will not be developed. Topsoil and organic soils may be stockpiled for later use in areas to be landscaped. Several old utility conduits and pipes were encountered during the test pit excavation. If these conduits/pipes are within the building or pavement areas, they should be removed or grouted in place.

9.2 Drainage

Groundwater was encountered at the times and depths noted in Table 1. It should be noted that groundwater levels may fluctuate several feet with seasonal and rainfall variations and with changes in the water level in adjacent drainage features. Normally, the highest groundwater levels occur in late winter and spring and the lowest levels occur in late summer and fall. In this particular circumstance, the exploration was performed during a very dry period. Given the subsurface conditions, geologic context of the site and proximity to Mauney Branch, regional precipitation trends could significantly affect groundwater levels. The contractor should be prepared to promptly remove any surface water or groundwater from the construction area. This has been done effectively on past jobs by means of gravity ditches and pumping from filtered sumps.

9.3 Proofrolling

After stripping and rough excavation grading, we recommend that areas to provide support for the foundations, floor slab, engineered fill and pavement be carefully inspected for soft surficial soils and proofrolled with a 25 to 35-ton, four-wheeled, rubber-tired roller or similar approved equipment. The proofroller should make at least four passes over each location, with the last two passes perpendicular to the first two where practical.

Any areas which wave, rut, or deflect excessively and continue to do so after several passes of the proofroller should be stabilized in accordance with section 9.4 of this report. The proofroll should be carefully monitored by an experienced engineering technician working under the direction of the geotechnical engineer. Proofrolling should not be performed when the ground is frozen or wet from recent precipitation.



9.4 Subgrade Stabilization

It is anticipated that some areas of the site may be unstable after a proofroll, and remedial activities will be necessary. Such remedial activities may include partial undercutting and replacement, or stabilization with geosynthetics and crushed stone, or a combination of these methods. Appropriate recommendations may be provided at the time of construction by BLE. Stabilization measures will vary with location and will also be dependent on the weather conditions during construction.

9.5 Excavation

Excavation to the proposed finished grades for the proposed building pad will extend through soft to moderate consistency alluvial and fill soil. Based on the borings and our experience, the fill and alluvial soils should be excavatable using conventional earthmoving equipment.

However, based on the test pit data and or review of historical online imagery, the excavation may also extend through the concrete footings, pavement and construction debris associated with the previous buildings. The exact size and location of this material is unknown at the time this report was written. The contractor should use their own experience in selecting equipment to remove these obstructions.

9.6 Engineered Fill

All fill used for raising site grade or for replacement of material that is undercut should be uniformly compacted in 8-inch loose lifts to at least 95 percent of the standard Proctor maximum dry density (ASTM D 698). Beneath floor slabs and on-grade parking, the compaction requirement should be raised to 98 percent in the upper 12 inches. The soils to be used in the engineered fill should contain no more than 3 percent organic matter by weight and should be free of roots, limbs, other deleterious material and should generally preclude rocks larger than 6 inches in diameter. In addition, the moisture content of the compacted soil fill should be maintained to within plus or minus 3 percent of the optimum moisture content as determined from the standard Proctor compaction test during placement and compaction. This provision may require the contractor to dry soils during periods of wet weather or to wet soils during dry periods. The fill soils should have a Plasticity Index (PI) of less than 30, and a standard Proctor maximum dry density of no less than 90 pounds per cubic foot (pcf).

9.7 Assessment of Onsite Material for use as a Structural Fill

Existing Fill/Alluvial

This excavation for this project may extend through existing fill, construction debris and alluvial soils. Based on the collected test pit data and our experience with similar soil types, the on-site existing fill, construction debris and alluvial soils would not be suitable for use as structural fill. This material varied widely in soil type and consistency and is expected to have a high-water content.

Assessment of Offsite Material for use as Structural Fill

If offsite soil is required at the time of construction, BLE can assist in testing the borrow source when identified. The offsite material will be required to meet the criteria for structural fill, as described in section 9.6.

9.8 Fill Placement over Sloping Ground

Where the existing ground is steeper than 6:1 (horizontal to vertical), newly placed fill should be tied into the existing ground to reduce the potential for a preferential shearing plane at the fill/ground surface interface.



This can be accomplished by benching or stepping into the natural ground. The height of each bench should not exceed 2 feet, and all fill should be compacted on a level plane.

9.9 Subgrade Protection During Construction

The surface of compacted subgrade soils can deteriorate and lose its support capabilities when exposed to environmental changes and construction activity. Deterioration can occur in the form of freezing, formation of erosion gullies, extreme drying, exposure for a long period of time or rutting by construction traffic. We recommend that the surfaces of floor slab subgrades that have deteriorated or softened be recompacted prior to construction of the floor slab. Additionally, any excavations through the subgrade soils (such as utility trenches) should be properly backfilled in compacted lifts. Recompaction of subgrade surfaces and compaction of backfill should be checked with a sufficient number of density tests to determine if adequate compaction is being achieved.

9.10 Slopes

Fill slopes should initially be constructed beyond the design slope edge due to the difficulty of compacting the edge of slopes. The fill could then be cut back leaving the exposed face well compacted. Fill slopes should be adequately compacted in accordance with the recommendations of this report. Fill embankment slopes have been designed to have an inclination of 2H:1V (horizontal to vertical). Typically, we suggest that fill slopes be constructed at 2.5:1, (horizontal to vertical) or flatter. As such, these steeper slopes will be more susceptible to erosion and shallow sloughing than those built at a flatter inclination. Nevertheless, either inclination is considered stable at this site. We recommend that the face of slopes and embankments be protected by establishing vegetation as soon as practical after grading.

Any disturbed soils located on the existing slope faces should be removed. Once removed and prior to fill placement, the exposed subgrade should be inspected for soft soils. Fill material should be constructed in horizontal stages starting at the base of the existing slope. Prior to each stage of fill placement, the sloped area should be benched into the existing soils with a level pad. The level pad will allow for better compaction of the fill materials. The resulting series of level benches will also serve to break the potential slip plane between the compacted fill layers.

Cut slopes made in residual soil should generally remain stable at inclinations made no steeper than 2:1 (Horizontal: Vertical). To reduce repairs and maintenance and to make the establishment of vegetation easier, flatter inclinations should be considered where practical. Steeper inclinations of up to 1.5:1 are often used for cut slopes, but the risk of slope instability increases as the steepness increases beyond 2:1. Steeper slopes should only be considered in areas that can tolerate occasional sloughing of material from the slope face, and where a potential failure of that slope would not impact buildings or other critical facilities. The surface of cut slopes should be vegetated to control erosion. Slopes that are over 30 feet in height should have a bench at 20 to 30-foot height intervals to help slow the flow of water down the face of the slope. The benches should be sloped slightly to drain water.

10.0 SPECIFICATIONS REVIEW

It is recommended that Bunnell-Lammons Engineering be retained to make a general review of the foundation and earthwork plans and specifications prepared from the recommendations presented in this report. We would then suggest any modifications so that our recommendations are properly interpreted and implemented.

66



*Preliminary Geotechnical Exploration Report
Haywood County EMS Russ Ave.– Waynesville, NC*

*August 21, 2023
BLE Project No. J23-20569-02*

11.0 BASIS OF RECOMMENDATIONS

Our evaluation of foundation support conditions has been based on our understanding of the project information and data obtained in our exploration as well as our experience on similar projects. The general subsurface conditions utilized in our foundation evaluation have been based on interpolation of the subsurface data between the widely spaced test pits. Subsurface conditions between the test pits may differ. If the project information is incorrect or the structure location (horizontal or vertical) and/or dimensions are changed, please contact us so that our recommendations can be reviewed. The discovery of any site or subsurface conditions during construction which deviate from the data obtained in this exploration should be reported to us for our evaluation. The assessment of site environmental conditions for presence of pollutants in the soil, rock and groundwater of the site was beyond the scope of this exploration. Excavated material used as backfill in test pits will settle over time resulting in a depression at the surface. It is beyond the scope of our services to return to the site to repair test pits that have exhibited settlement of the backfill soils.

Variance Order

TOWN OF WAYNESVILLE
COUNTY OF HAYWOOD

BEFORE THE WAYNESVILLE
ZONING BOARD OF ADJUSTMENT

In the Matter of the Application of)
Haywood County)
for a Variance for Property)
at 2249 Russ Avenue, PIN 8616-38-5985)
_____)

FINDINGS OF FACT AND ORDER

THIS CAUSE, coming on before the Zoning Board of Adjustment for the Town of Waynesville on July 2, 2024, upon the application of Haywood County, for a variance to the front setback.

Olga Grooman, Assistant Development Services Director, appeared for the Town and presented the staff report, and the applicant was represented by the county attorney, Frank Queen.

The Zoning Board of Adjustment, having heard and considered the testimony of town staff, all witnesses for the Applicant, and having afforded an opportunity for the public to speak in support of or in opposition to the application, and having considered all the evidence presented by the town staff and the Applicant, makes the following

FINDINGS OF FACT

1. The Zoning Board of Adjustment has jurisdiction over this matter pursuant to Section 14.4.1.B.4 of the Land Development Standards.
2. Proper notice of this meeting and hearing of the Zoning Board of Adjustment was provided as required by the Town ordinances and the state law.
3. Applicant, Haywood County, owns that 0.83 acre lot at 2249 Russ Avenue, said property being identified on the tax maps for Haywood County as PIN number 8616-38-5985.
4. The subject property is located in the corporate limits of Waynesville and in the

Dellwood Residential- Medium Density Mixed-Use Overlay (D-RM-MX-O) zoning district.

5. The lot is currently vacant. The property is 0.83 acres, and it is located at the intersection of Russ Avenue and Mauney Cove Road, with frontage along Russ Avenue.
6. The site is a proposed location for the Haywood County satellite EMS facility.
7. Government services is a permitted use in D-RM-MX-O.
8. The property is mostly flat with a gentle slope towards north-west in the direction of Mauney Cove Road.
9. Mauney Cove Branch runs along the north-western side of the lot and a sewer line runs on site, parallel to its western boundary, and the 20 foot wide sewer easement and the 25 foot stream buffer limit the area for construction of the proposed EMS facility.
10. Because the property slopes in the north-western direction, there must be a retaining wall along the walkway in the back of the building.
11. The proposed satellite EMS base will consist of one building facing Russ Avenue, a walkway around the back of the building, a service yard, and a parking lot. Because the property slopes in the north-western direction, there will be a retaining wall along the walkway in the back of the building. The main building will have EMS vehicle bays at the front and living quarters for emergency personnel in the rear.
12. The proposed building as designed needs to be set as close to the front (the Russ Avenue side) to allow construction of the number of vehicle bays and living quarters deemed by the County as sufficient to provide an adequate satellite EMS facility while allowing safe vehicular and pedestrian circulation on the property.
13. The district's principal front and side setbacks from adjacent lot are 10 feet, the street side setback is 5 feet, and rear setback is 6 feet.
14. The applicant is seeking a variance from the ten foot front setback off Russ Avenue frontage of ten feet, reducing that setback to 0 feet, to allow placement of the building right at the front property line.

15. If granted, the variance will allow construction of a principal building with the desired number of vehicle bays, housing for employees, adequate parking and driveway routes on the lot for emergency vehicles to enter and leave the property safely and for the public or others to drive onto the property without blocking emergency vehicles, with the additional benefit of reducing the height of the retaining wall along Mauney Cove Road need to level the lot for construction of building and vehicular traffic on the parcel.

16. The front lot line is approximately 19.86 feet from the edge of the traveled portion of Russ Avenue.

17. NCDOT has no plans or studies indicating that Russ Avenue will be widened at this location, but does want the northern entrance into the subject property to be set as far as practical from the intersection with Mauney Cove Road, further limiting the area in which a structure can be placed on the property.

18. There are other structures in the vicinity of the subject property that are located within the ten foot front setback.

19. To be granted a variance, the Applicant is required to prove the following:

(1) Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property.

(2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from personal circumstances, as well as hardships resulting from conditions that are common to the neighborhood or the general public, may not be the basis for granting a variance. A variance may be granted when necessary and appropriate to make a reasonable accommodation under the Federal Fair Housing Act for a person with a disability.

(3) The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship.

(4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

20. Unnecessary hardship will result from the strict application of the ordinance. If the front setback requirement is met, the planned facility will lose either vehicle bays or living space, or interior traffic circulation on the lot will be less safe, defeating the purpose of the facility and/or creating unsafe conditions on the property.

21. The hardship created is peculiar to the property in that the location of the stream buffer and the sewer line on the property limit the design and location of the desired EMS facility which has been deemed a necessity by the County, and its location near the intersection of Russ Avenue and Mauney Cove Road limits the location of entrances into the property.

22. The hardship did not result from actions taken by the applicant or the property owner as the location, slope, stream and sewer line which limit the ways the facility can be configured were already in existence when the County acquired the property.

23. The requested variance is consistent with the spirit, purpose, and intent of the ordinance, public safety is secured, and substantial justice is achieved, as it will allow the construction of an EMS facility in an area of the Town where it is needed, and it will not appear out of compliance since other structures in the vicinity presently are built within the building setback area.

BASED UPON THE FOREGOING FINDINGS OF FACT, THIS BOARD by a vote of 5 to 0 concludes that the Applicant is entitled to the variance requested reducing the front setback along Russ Avenue to 0 feet.

IT IS NOW, THEREFORE, ORDERED, that the Applicant's request for a variance is granted, subject to the obligation of the Applicant to comply with all other Land Development Standards, zoning requirements and the building code.

This the _____ day of _____, 2024.

HENRY KIDDER, Vice-Chairperson

If you are dissatisfied with the decision of this Board, an appeal may be taken to the Superior Court of Haywood County within 30 days after the date this order is served on you.

**Planning Board Staff Report
Amendment to the Conditional District
Legislative Hearing**

Meeting Date: July 15, 2024
Project: Allison Acres Conditional District
Location: Four (4) properties off Allison Acres Drive (PINs 8615-88-1632, 8615-88-4442, 8615-88-1854, and 8615-88-3857).
Zoning District: East Waynesville Urban Residential Conditional District (EW-UR-CD) and Raccoon Creek Neighborhood Residential Conditional District (RC-NR-CD)
Owner: QP ALLISON, LLC
Authorized Agents: Donald Penson, Dave Braun, Jay Harvey
Presenter: Olga Grooman, Assistant Development Services Director

Background:

On May 29, 2024, QP Allison, LLC applied for an amendment to the Conditional District that was originally approved on April 26, 2022 (attached O-23-22). The original project consisted of 59 two-family and townhome dwelling units on 7.7 acres. The developer is seeking to amend the Conditional District and create a 50-unit development of single-family homes and townhomes. Per Land Development Standards (LDS) 15.2.5, “a change in land use or development type beyond that permitted by the approved Master Plan or Plat” constitutes a substantial change. Any substantial change to a Conditional District shall be reviewed by the Planning Board and approved or denied by the Town Council as an amended Conditional District.

The original 2022 Master Plan included a development of 59 attached townhome units on 7.7 acres, including 2.11 acres of civic space (various green areas on site), and 136 parking spaces. The project connected to East Street in two points: off Allison Acres Drive and off Counsel Place.

The amended site plan shows a reduction in density and site disturbance, and proposes a mix of single-family and townhomes, with a total of 50 units on 7.71 acres. The new plan also reduces the number of parking spots to 112 spaces. The developer is redesigning the civic space and proposes a green area with benches and a trail along the southeastern part of the property that will connect to the adjacent Valleywood Farms development. The second civic space area is a picnic area on the north-eastern side of the project. The total acreage of new civic space is one (1) acre. The project still will connect to East Street via two drives: off Allison Acres Drive and off Counsel Place.

QP ALLISON, LLC authorized Donald Penson, Dave Braun, and Jay Harvey to represent the project and appear before the board (*see Authorization forms*). The applicant met with the Town’s Technical Review Committee on June 21, 2024 for additional feedback. Staff provided notices of this public hearing in the Mountaineer newspaper (6/26/24 and 7/3/24), by posting the property (6/24/24), and via first-class mail to adjacent property owners within 500 ft (6/24/24).

Per LDS section 15.3.7, the project team held the neighborhood meeting on July 12, 2024. The materials are attached.

Conditional District Application:

Per LDS 15.15, “Conditional Districts (Section 2.7) are districts with conditions voluntarily added by the applicant and approved in a legislative procedure by the Town Council in accordance with G.S. 160D.

Conditional Districts provide for orderly and flexible development under the general policies of this Ordinance without the constraints of some of the prescribed standards guiding by-right development.” Per LDS 15.15.2. D, “the Planning Board may recommend and the Town Council may attach reasonable and appropriate conditions including, but not limited to the location, nature, hours of operation and extent of the proposed use.” Such conditions or additional standards shall be limited to improve conformance with the existing ordinance and/or address expected impacts generated by the development and use of the site. The applicant has a reasonable opportunity to consider and respond to any conditions and site-specific standards proposed by the Planning Board or Council prior to final action.

During the public hearing, the Planning Board shall review the Conditional District application and consider the following aspects of the project (LDS 15.15.2 B):

- Compatibility with surrounding properties
- Area impacts
- Adequate facilities and infrastructure
- Building and site design, and
- Compatibility with the immediate context

The worksheet is attached to this agenda packet.

LDS 15.15.1 A specifies that “Conditional District classification shall only be considered upon the request of the owners and/or their representatives of all the property to be included. A CD shall consist of land under unified control which may be planned and developed as a single development...” All four parcels are owned by the applicant- QP ALLISON, LLC. The property deed is attached to the agenda packet.

As a reminder, the original Conditional District was approved with the following conditions on April 26, 2022:

- **Chapter 2- Table 2.4.1**
3(a)- Minimum lot size does not apply
3(c)- Minimum lot size does not apply
4(a)- Front setbacks do not apply
- **Chapter 5- Section 5.8.4(A)**- The requirement that off-street parking areas shall be accessed only from an alley for houses on lots less than 50 feet in width does not apply.
- **Chapter 5- Section 5.8.4(B)**- The requirement that off-street parking areas shall be accessed only from an alley for lots with townhomes does not apply.
- **Chapter 9- Section 9.4.2(B)(3)**- The requirement that parking and maneuvering areas to be arranged to allow vehicles to enter and leave the premises or parking areas in a forward motion does not apply.
- **Chapter 9- Section 9.4.2(C)**- The requirement that all off-street parking areas to be designed so that vehicles will not be required to back onto or maneuver in the public right-of-way shall not apply.

The developer is keeping the original conditions as recommended by the Planning Board and approved by the Town Council in 2022. The project site plan revision proposes the following modifications:

- Change in use type from townhomes to a mix of townhomes and single-family units
- Reduce the overall density of the site from 59 units to 50 units on 7.71 ac (from 7.6 units/ac to 6.49 units/ac)
- Reduce the number of parking spaces from 136 to 112.
- Redesign the roads within the development to adhere to the most recent Fire Code standards (widths, turnarounds)
- Change the type of civic space from green areas to a greenway that would connect to the adjacent civic space at Valleywood Farms subdivision and add a picnic area on the north-eastern side of the site. The amount of civic space is reduced from 2.11 ac to 1 ac.
- Create new lot lines that provide back, side, and front yards for single-family home residents. The original master plan had lot lines that ran down the party lines of the townhomes and extended behind and in front of each unit.
- Decrease the minimum side setback from adjacent lots within the development from 10 ft to 8 ft. However, the separation between structures will still be compliant with the LDS as well as Building and Fire Codes. The existing exterior property line setbacks will remain compliant.
- Request payment-in-lieu for the portion of the sidewalk along East Street (see Infrastructure and Connectivity section below for details of the request).

The applicant provided a master plan, landscape plan, storm drainage plan, utility plan, building elevations, and environmental survey as a part of the application. The applicant stated that:

“The newly proposed Allison Acres has decreased density and disturbance to better compliment the site’s terrain. More single-family homes have been utilized. Single-family units have been stepped along the steeper roadway segments in a fashion that offers more flexibility than townhomes. Accessibility has been improved as there won’t be as many stairs required to enter the units. These products will be more comparable to the surrounding neighborhoods. This project also implements the latest Fire Apparatus Access Road standards from Appendix D. The intent of this project is still to create fee simple lots for each townhome and single-family unit while maximizing open/civic space. Civic space connection now proposed with Queen Subdivision to the east. In addition to the previously approved conditions, the developer is requesting an amended Conditional District which incorporates the following updates:

- LDS 2.4.1. 4(c) – Minimum building side setback (from adjacent lot)

Townhome lots will have no side setbacks as the lot lines will match fire separation walls. Single-family lots proposed with 8’ side setbacks rather than 10’. As described above, single-family units are more practical to traverse steeper topography and offer better accessibility than townhomes (less stairs). Sprawl is reduced. Open space is optimized.”

The proposed setbacks for single-family homes are in compliance with the NC Residential Building Code. The developer creates lot lines that provide, front, back side yards for the residents. LDS 15.6.4 authorizes the Administrator (Planning Board in this case) to approve the deviation from the required setbacks by 10% or 24 inches, whichever is greater. Additionally, existing exterior property line setbacks are still compliant with NR & UR districts (10’ front, 5’ secondary front, 10’ side, 6’ rear).

Zoning Compliance:

The project consists of four (4) properties. Three of them (PINs 8615-88-1632 8615-88-1854, and 8615-88-3857) are in the East Waynesville Urban Residential Conditional District, and one parcel (PIN 8615-

88-4442) is in Raccoon Creek Neighborhood Residential Conditional District. Single-family dwellings and townhomes are permitted outright in these districts.

The underlying districts have the following purpose and intent (**LDS 2.3.3(G) and 2.3.4(A)**):

The **Raccoon Creek Neighborhood District (RC-NR)** is a medium density residential area surrounding one of the major entrances into Waynesville — Business 23. There are two centers for this area — the Ratcliff Cove Neighborhood Center and the Junaluska School/ballfield area within the district itself. Water service is available throughout much of the district with sewer available along Business 23 and Francis Farm Road. Higher density development is encouraged west of Business 23 with lower density clustered development proposed to the east. It is suggested that the County explore recreational uses on the landfill property on Francis Farm Road — an area that could become another focal point for the community. Development will occur at a residential scale. Development fronting onto Business 23 must form a street wall along this entryway into town.

The **East Waynesville Urban Residential District (EW-UR)** is an urban neighborhood of mostly medium to high density residential development bordering the Waynesville town center. Higher density development is encouraged closer to town with lesser densities found as the district approaches areas with steeper slopes. A number of public spaces are found in this district including the East Street and Vance Street parks. It will be important as new development and redevelopment occurs for connections to be made to such public spaces and throughout the district.

The Land Use Map within the 2035 Comprehensive Land Use Plan designates these properties for *Residential- Medium to High Density* and *Residential- Low to Medium Density* development.

LDS 2.4.1 Dimensional Standards:

The Raccoon Creek Neighborhood Residential District has a base density of 10 units per acre, while the East Waynesville Urban Residential District has a base density of 16 units per acre. The proposed project has a density of 6.5 units per acre, less than allowable density in either district.

In both districts, the setback requirements are 10 ft at the front and side, 6 ft in the rear, and 6 ft between any structures. The plan exceeds the minimum setback requirements from the parental parcel. The closest distance between the buildings is just over 11 ft between two 3-unit townhome buildings in the southeast corner of the development. All other structures are even further apart and exceed the separation requirements of LDS and Building Code. The developer is asking for a reduction of side setbacks within the internal lots from 10 ft to 8 ft, which is still compliant with Fire and Building Codes.

The originally approved Conditional District includes the following conditions (*see attached ordinance*):

- Minimum lot size shall not apply
- Minimum lot width shall not apply
- Front setbacks shall not apply

The developer is maintaining these approved conditions. The lots on the original master plan were approximately 0.026 ac. The proposed lots range from 0.029 to 0.078 ac.

Building height is limited to 3 stories or 60 feet, measured from the highest adjacent grade to the peak of the roof. The project proposes two-story structures.

Minimum pervious surface requirement is 10%. The project will have 5.01 ac, or 65% of the site remaining as pervious area.

LDS 4.3 Basic Lot and Use Standards:

The plan shows that buildings front the proposed private internal drives, and that is compliant with the requirement that “all lots shall front upon a public street right-of-way or a driveway constructed to the standards of this ordinance.”

LDS 4.4 Building Height:

The maximum building height in NR and UR is 60 ft, measured from the highest adjacent grade to the peak of a sloped roof. Maximum number of stories is 3. “A story is a habitable level of no more than 14 ft in height from finished floor to finished floor.” The proposed two-story dwellings have the following heights:

- Charleston model- 27 ft, 2 stories
- Charlotte model- 28.5 ft, 2 stories
- Triplex model- 28 ft, 2 stories

Building Design Guidelines (LDS Chapter 5):

Single-family and townhome (also referred as townhouse) dwellings are allowable uses by right in EW-UR and RC-NR districts. House building type is described in the **LDS 5.5.2** as follows:

“The house is the predominant residential building type in the Town of Waynesville. This building type is flexible in use accommodating primarily residential uses, home occupations, professional offices, and limited retail uses based on the zoning district in which it is located. The two basic House types - House-Street and House-Alley - are a function of how the lot is accessed by automobile. In general, within a block, building types should be uniform in their use of driveways or alleys. The House typically has four yards (front yard; two side yards; and rear yard). Variations include setting the building on one of the side property lines.”

Townhouse building are described by the **LDS 5.5.3** as follows:

“The townhouse is a building with two (2) or more attached units that are located side by side. The use permitted within the building is determined by the District in which it is located. When an entrance is provided at-grade, the townhouse may be used as a live-work unit. The Townhouse typically has one yard (rear) through variations including a small front setback to provide some landscaping.”

The proposed buildings meet the design guidelines established by the **LDS 5.8** for house and townhouse building types:

- Roofs are sloped as required (**LDS 5.8.2 Roof and Eaves**).
- Porches and stoops are recommended to form a predominant motif of the building design (**LDS 5.8.3 Building Entrances**).
- Front porches are proposed for Charlotte façade design. They are at least 8 ft in depth, as required.

- Raised entrances decorative railings are proposed for Charleston and Triplex façades. Additionally, Triplexes will have back porches.
- All residential entrances within 25 ft of the sidewalk shall be raised from the finished grade at min. 1.5 ft. There are no units that face East Street or its sidewalk. The models show that the entrances are raised approximately one foot, with a few units being within 25 ft from the internal sidewalk along the parking areas.
- No garages are proposed. Single-family dwelling will have driveways at the front of the units, and there are shared parking areas in front of townhomes. The developer is maintaining the originally approved conditions:
 - **Chapter 5- Section 5.8.4(A)**- The requirement that off-street parking areas shall be accessed only from an alley for houses on lots less than 50 feet in width does not apply.
 - **Chapter 5- Section 5.8.4(B)**- The requirement that off-street parking areas shall be accessed only from an alley for lots with townhomes does not apply.

LDS 5.8.5(A) requires at least 15% of the area of each façade that faces a street lot line to be windows or doors. Windows and doors comprise approximately 20% of the front façades of the Charlotte buildings, 26% of the Charleston buildings, and 24% of the triplex buildings. Additionally, windows and doors comprise approximately 16% of the rear façades of the Charlotte buildings, 18% of the Charleston buildings, and 17% of the rear facades of the triplex buildings.

At least five architectural elements from the **LDS 5.8.5(B)** shall be provided to achieve detailed design. The following features are shown on the proposed structures include: eaves, window trim, decorative railings, posts, gables, recessed entries, front door overhangs with shingles, off-sets in building façades and roofs, trim boards, and covered stop entries.

The indicated materials are horizontal lap siding, vertical siding, and asphalt shingles on the roofs. **LDS 5.8.6** states that building shall be primarily clad in wood clapboard, cementitious fiber board, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, or synthetic materials similar and/or superior in appearance and durability, and asphalt shingles is an allowable roof material.

Infrastructure and Connectivity (LDS Chapter 6):

Each proposed dwelling will be accessed via the internal street system connecting to Allison Acres Drive and Counsel Place, which both connect to East Street. **LDS 6.6.2(E)** states that the pavement width for Lane-type streets shall be 20 ft. It also ensures compliance with the 2018 NC Fire Code for fire apparatus access. The proposed streets within the development are 20 and 21 ft wide with valley curbs, which is compliant. Additionally, the main entrance is with East Street up to 50 ft at the apron and reduces to 20' with valley curb, and complies with infrastructure standards.

Per LDS 6.6.2(E), the length of internal Lane-type street shall be up to 800 ft. The proposed length is below that threshold, with the longest part so the lane going through the southern portion of the project and being approximately 600 ft long, and northern Lane is at about 400 ft.

5-ft concrete sidewalks are provided along the Lane-type street within the development per **LDS 6.6.2(E)**. A 5-ft sidewalk is also required along the east street where the two single-family dwellings are proposed.

The developer is seeking a payment-in-lieu for approximately 140-ft sidewalk along the East Street frontage and proposes the following:

- The developer will provide cost estimate for this required sidewalk along East Street.
- The developer will create a crosswalk that would connect the new sidewalk off Allison Acres Drive to the existing sidewalk across East Street.
- The developer will reconfigure the swale along East Street and disperse the stormwater flow down Broadview Road.
- The developer will provide stormwater calculations not to create hazard for downhill properties.
- The developer will construct curb improvements along the corner of East Street and Broadview Road to accommodate the new stormwater flow pattern.
- The difference in the cost-in-lieu estimate, if any, will be paid to the Town after the above improvements are made.

Water, sewer, and electric service are available from the Town. The development has already prepaid its sewer capacity fees to lock in allocation when the original project was approved (**LDS 6.11**). The tap fees will be paid separately.

Civic Space (LDS Chapter 7):

For a 50-unit development, 13% of the total acreage of the site shall be dedicated to civic space. For 7.71 acres, 1 acre is required and provided. The civic space will consist of a green area and a greenway path connecting to the Valleywood Farms development at the south-eastern corner of the project. LDS 7.2.5 specifies amenities for civic spaces. The site plan indicates that a greenway trail has a 10-ft wide paved surface and includes three benches along the path, which meets the standards. The second civic space with two (2) picnic tables is proposed on the north-western side of the project. Additionally, the plan proposes 18 trees among the civic areas.

Landscape (LDS Chapter 8):

There is no buffer requirements for adjacent properties because the project is located within EW-UR and RC-NR districts and is surrounded by the areas within these two districts (**LDS 8.4**).

The project shall have street tree plantings at a rate of one canopy tree for every 40 feet of street frontage with maximum spacing of 50 feet on center within a planting strip at least 5 feet in width (**LDS 8.5**). The plan indicates approximately 1,478 linear feet of street frontages. Therefore, 37 street trees are required, and 37 street trees are provided with compliant spacing.

Per **LDS 8.6.2**, no parking spot shall be more than 40 feet from the base of a canopy tree. The project is compliant.

LDS 8.6.2 also requires one canopy tree per 12 parking spaces. There 112 parking spots require 9 trees. Excluding the 18 civic space trees, the plan proposes a total of 51 trees at streets and parking areas, which exceeds the requirement.

The proposed tree species are Red Maple, Eastern Redbud, Littleleaf Linden, Flowering Dogwood, and Norway Spruce. Among them, Norway Spruce and Little Leaf Linden are native European tree species that are common ornamental tree in the US. Other proposed tree species are native to NC (**LDS 8.3**).

LDS 8.7 requires that dumpsters, loading docks, or utility structures visible from a public street or adjacent property shall be screened. A dumpster pad with enclosure is proposed at the northeastern side of Allison Acres Drive.

Parking and Driveways (LDS Chapter 9):

The developer is keeping the originally approved conditions of this chapter:

- **Section 9.4.2(B)(3)-** The requirement that parking and maneuvering areas to be arranged to allow vehicles to enter and leave the premises or parking areas in a forward motion does not apply.
- **Section 9.4.2(C)-** The requirement that all off-street parking areas to be designed so that vehicles will not be required to back onto or maneuver in the public right-of-way shall not apply.

One auto space is required per each single-family unit, and 1.5 for each townhome (LDS 9.2). The 26 single-family homes and 24 townhomes will need 62 parking spots. The project proposes 112 (including 2 ADA spots), exceeding the requirement. Additionally, one bike parking space is required for each 20 parking spaces, and one is proposed on the southern side of the development. **The bike rack would require to have 6 slots for 112 parking spaces, and can be confirmed prior to the Certificate of Occupancy.**

All the proposed parking will be adjacent to private internal Lane, and none would be along East Street frontage (LDS 9.3).

The proposed Lane-type streets within the development are two-way, 20 and 21-feet wide with valley curbs. The site plan has two (2) hammerhead-like turnarounds at the end of each internal lane. These proposed road configurations comply with the LDS and Fire Code and serve better for fire truck access than previously proposed dead ends on the original plan (LDS 9.8). There are also three (3) fire hydrants for the project: two new ones on site and one existing off East Street.

There are no minimum driveway spacing requirements for NR and UR districts. However, each residential driveway needs to be at least 10 ft wide with internal stem length of at least 25 ft from the door to the sidewalk to avoid blocking the sidewalk. The project is compliant: internal driveway stems to the back of sidewalk are 25 ft, and single-family drives are 20-ft wide (LDS 9.8.3). Each driveway will connect to the internal streets of the development.

Lighting (LDS Chapter 10): If lighting is proposed, a detailed lighting plan will be required.

Signage (LDS Chapter 11): All signage will require a sign permit.

Environmental (LDS Chapter 12):

The applicant provided the environmental survey prepared by the CDC engineering firm. It contains the following information:

- Current conditions- mix of open grassland and scattered structures, including two residential buildings.

- The property is not in the regulatory floodplain.
- Soil classifications- well drained soils with no frequency of flooding.
- Proposed erosion control measures: sediment basin, silt fences, temporary diversion ditches. The project will obtain its Erosion and Sedimentation permit from the State.

The application includes stormwater drainage plan. The project proposes a drainage system consisting of pipes and natural benches that work with the topography of the site. The Storm Tech system will catch the runoff in the southeastern corner of the development. The detailed stormwater management plan with calculations and Operations and Management Agreement will be required for the Town's Stormwater Permit.

Consistency with the 2035 Comprehensive Land Use Plan:

The project meets the the 2035 Comprehensive Plan's following goals:

Goal 1: Continue to promote smart growth principles in land use planning and zoning.

- Create walkable and attractive neighborhoods and commercial centers.
- Encourage in-fill, mixed use, and context-sensitive development.

Goal 2: Create a range of housing opportunities and choices.

- Encourage new housing inside Waynesville's city limits and Extraterritorial Jurisdiction (ETJ)
- Promote a diverse housing stock including market rate, workforce housing and affordable options that appeal to a variety of households

The Land Use Map within the 2035 Comprehensive Land Use Plan designates these properties for *Residential- Medium to High Density* and *Residential- Low to Medium Density* development.

Motions for Consideration:

1. Motion to find this amended Conditional District as proposed as being consistent with the 2035 Land Use Plan and reasonable and in the public interest.
2. Motion to recommend approval/denial/approval with conditions to the Town Council.

Attachments:

- Consistency Statement Worksheet
- Draft Ordinance
- Application materials
- Property maps and images
- Original Conditional District Ordinance O-23-22
- Utilities letter
- Environmental Survey
- Public notices

- Neighborhood meeting documents
- LDS, 2035 Comp. Plan, Building and Fire codes are incorporated by reference



TOWN OF WAYNESVILLE
Development Services Department
9 South Main Street Suite 110
Waynesville, NC 28786
Phone (828) 456-8647 • Fax (828) 452-1492
www.waynesvillenc.gov

Application for Land Development Standards Map Amendment: Conditional District

Application is hereby made on May 29th, 2024 to the Town of Waynesville for the following map amendment to establish or amend a Conditional District:

Property owner of record: QP ALLISON, LLC

Address/location of property: 18 Allison Acres Dr, Waynesville, NC 28786

Parcel identification number(s): 8615-88-1632; 8615-88-4442; 8615-88-1854; 8615-88-3857

Deed/Plat Book/Page, (attach legal description): Book 1062; Pages 1680-1682

The property contains 7.73 acres, shown as 4 number of lots under unified control.

Current district: RC-NR; EW-UR

Conditional Districts are zoning overlays with conditions voluntarily added by the applicant onto specified properties and approved in a legislative procedure by the Town Council in accordance with G.S. 160D. Conditional Districts provide for orderly and flexible development under the general policies of this Ordinance without the constraints of prescribed standards guiding by-right development. Conditional Districts are not intended to relieve hardships otherwise handled with a variance procedure.

Conditional District application requirements Attached:

Environmental Survey (15.4.1)

Master Plan (15.4.3)

Other plans, drawings, renderings, elevations, maps and documents included as development documents for approval by the Board of Aldermen.

Full list of proposed uses consistent in character with the underlying zoning district and any conditions requested as part of the Master Plan.

A proposed development schedule if the project is to be phased.

Applicant Contact Information


Applicant Name (Printed): QP ALLISON, LLC

Mailing Address: 430 Lexington St, 2nd Floor, Newton MA 02466

Phone(s): 857-222-8875

Email: davidr@quartzproperties.com

Signature of Property Owner(s) of Record Authorizing Application:


David Roover (May 29, 2024 16:09 EDT)

Please submit application to: Town of Waynesville Development Services Department, 9 South Main Street, Waynesville, NC 28786.

This institution is an equal opportunity provider

**AUTHORIZATION FOR AGENT TO
APPEAR BEFORE WAYNESVILLE PLANNING BOARD,
ZONING BOARD OF ADJUSTMENT, OR TOWN COUNCIL**

The undersigned Owner or Party with a contract or option to purchase that real property located at Allison Acres(PINs 8615-88-1632/4442/1854/3857)in Waynesville or the ETJ area of Waynesville, North Carolina, has submitted an application which is to be heard in a proceeding by Board(s) of the Town of Waynesville, North Carolina. I hereby authorize the following named individual to present my application and case, as my agent at such hearings.

Name of Authorized Agent: Donald S. Penson, P.E.

Title and Company: Civil Engineer / Civil Design Concepts, P.A.

Address: 168 Patton Avenue, Asheville, NC 28801

Phone and email: 828-252-5388 / dpenson@cdcgo.com

This authorization shall be good through the completion of the project for which the zoning text or map amendment, special use permit, subdivision, variance or appeal, or other Town approval is requested, or until revoked in writing. The Town of Waynesville may rely on this authorization until it is given notice of the revocation of this authorization or of a change of property ownership takes place.

This the 8th day of July, 2024.

Owner or Party with Contractual Interest in Property:



Address and phone number:

430 Lexington St, 2nd Floor

Newton, MA 02466

857-222-8875

**AUTHORIZATION FOR AGENT TO
APPEAR BEFORE WAYNESVILLE PLANNING BOARD,
ZONING BOARD OF ADJUSTMENT, OR TOWN COUNCIL**

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Name of Authorized Agent: Dave Braun, P.E.

Title and Company: Civil Engineer / Civil Design Concepts, P.A.

Address: 52 Walnut Street, Suite 9, Waynesville, NC 28786

Phone and email: 828-252-5388 / dbraun@cdcgo.com

This authorization shall be good through the completion of the project for which the zoning text or map amendment, special use permit, subdivision, variance or appeal, or other Town approval is requested, or until revoked in writing. The Town of Waynesville may rely on this authorization until it is given notice of the revocation of this authorization or of a change of property ownership takes place.

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430 Lexington St, 2nd Floor

Newton, MA 02466

857-222-8875

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Name of Authorized Agent: Jay Harvey

Title and Company: Land Acquisition and Development Director / Quartz Properties

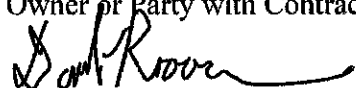
Address: 430 Lexington Street, 2nd Fl, Newton, MA 02466

Phone and email: 678-673-0827 / jayh@quartzproperties.com

This authorization shall be good through the completion of the project for which the zoning text or map amendment, special use permit, subdivision, variance or appeal, or other Town approval is requested, or until revoked in writing. The Town of Waynesville may rely on this authorization until it is given notice of the revocation of this authorization or of a change of property ownership takes place.

This the 8th day of July, 2024.

Owner or Party with Contractual Interest in Property:



Address and phone number:

430 Lexington St, 2nd Floor

Newton, MA 02466

857-222-8875

PAYMENT SUMMARY RECEIPT

TOWN OF WAYNESVILLE
16 S MAIN ST

DATE: 06/10/24 CUSTOMER#:
TIME: 11:08:42
CLERK: 2044ecou

RECPT#: 3057357 PREV BAL: 1173.00
TP/YR: P/2024 AMT PAID: 1173.00
BILL: 3057357 ADJSTMNT: .00
EFF DT: 06/10/24 BAL DUE: .00

Misc Cash Receipts

-----TOTALS-----

PRINCIPAL PAID: 1173.00
INTEREST PAID: .00
ADJUSTMENTS: .00
DISC TAKEN: .00

AMT TENDERED: 1173.00
AMT APPLIED: 1173.00
CHANGE: .00

PAID BY: Review Fee Allison A
PAYMENT METH: CHECK
PAYMENT REF: 1005

TOT PREV BAL DUE: 1173.00
TOT BAL DUE NOW : .00

86

DATE 2022-05-10 BY HW

8615-88-1632
1854
3857
4442

2022005114

HAYWOOD COUNTY NC FEE \$26.00
STATE OF NC REAL ESTATE EXT

\$2300.00

PRESENTED & RECORDED
05/10/2022 03:31:31 PM

SHERRI C. ROGERS
REGISTER OF DEEDS
BY: STACY C. MOORE
ASSISTANT

BK: RB 1062
PG: 1680 - 1682

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$2,300.00

Parcel Identifier No. _____ Verified by _____ County on the _____ day of _____, 20____
By: _____

Mail/Box to: McGuire, Wood & Bissette, P.A., Post Office Box 3180, Asheville, NC 28802

This instrument was prepared by: The Phillip C. Price Law Firm, PLLC, Post Office Box 1296 Enka, NC 28728 (22-0375)

Brief description for the Index: _____

THIS DEED made this 29th day of April, 2022, by and between

GRANTOR
Timothy Dan Shields & Kristi Diane Carlton,
Co-Trustees of The KT Revocable Trust
dated March 31, 2020
3151 2nd Street W
St. Pete Beach, FL 33706

GRANTEE
QP Allison, LLC
430 Lexington Street, 2nd Floor
Newton, MA 02466

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot, parcel of land or condominium unit situated in the City of _____, _____ Township, Haywood County, North Carolina and more particularly described as follows:

See Exhibit "A" attached hereto and incorporated herein by reference. This instrument was prepared by The Phillip C. Price Law Firm, PLLC without review or examination of title to the herein described property and no opinions or representations are being made either express or implied by said law firm or its attorney. This instrument was prepared by Phillip C Price, a licensed North Carolina attorney. Delinquent taxes, if any, to be paid by the closing attorney to the county tax collector upon disbursement of closing proceeds.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 997 page 82.
All or a portion of the property herein conveyed includes or X does not include the primary residence of a Grantor.

A map showing the above described property is recorded in Plat Book _____ page _____.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

Easements, restrictions, rights of way of record and utility lines readily apparent and in existence over and under the subject property. Ad valorem taxes for the current year.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

 (Entity Name)
 By: _____
 Print/Type Name & Title: _____

[Signature] (SEAL)
 Print/Type Name: Timothy Dan Shields, Co-Trustee
 of The KT Revocable Trust dated
 March 31, 2020 (SEAL)
 Print/Type Name: _____

By: _____
 Print/Type Name & Title: _____

[Signature] (SEAL)
 Print/Type Name: Kristi Diane Carlton, Co-Trustee
 of The KT Revocable Trust dated
 March 31, 2020 (SEAL)
 Print/Type Name: _____

State of Florida - County or City of Pinellas

I, the undersigned Notary Public of the County or City of _____ and State aforesaid, certify that Timothy Dan Shields & Kristi Diane Carlton, Co-Trustees* personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 29 day of April, 2022, *of The KT Revocable Trust dated March 31, 2020

My Commission Expires: 2-17-2023 (Affix Seal)

 Michael Hagstrom Notary Public
 State of Florida
 My Commission Expires 02/17/2023
 Commission No. GG 302783 Notary's Printed or Typed Name Michael Hagstrom

State of _____ - County or City of _____

I, the undersigned Notary Public of the County or City of _____ and State aforesaid, certify that _____ personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this _____ day of _____, 20____.

My Commission Expires: _____ (Affix Seal) _____ Notary Public
Notary's Printed or Typed Name

State of _____ - County or City of _____

I, the undersigned Notary Public of the County or City of _____ and State aforesaid, certify that _____ personally came before me this day and acknowledged that _____ he is the _____ of _____, a North Carolina or _____ corporation/limited liability company/general partnership/limited partnership (strike through the inapplicable), and that by authority duly given and as the act of such entity, _____ he signed the foregoing instrument in its name on its behalf as its act and deed. Witness my hand and Notarial stamp or seal, this _____ day of _____, 20____.

My Commission Expires: _____ (Affix Seal) _____ Notary Public
Notary's Printed or Typed Name

EXHIBIT "A"

TRACT ONE- PIN 8615-88-0651

BEING Tract 1, containing approximately 3.37 acres, as shown on Plat by Rodney Norton, dated November 15, 2019, and recorded at Plat Cabinet D, Slot 448, Haywood County Registry.

TRACT TWO- PIN 8615-88-1854

BEING Tract 2, containing approximately 1.12 acres, as shown on Plat by Rodney Norton, dated November 15, 2019, and recorded at Plat Cabinet D, Slot 448, Haywood County Registry.

TRACT THREE - PIN 8615-88-3857

BEING Tract 3, containing approximately 0.45 acres, as shown on Plat by Rodney Norton, dated November 15, 2019, and recorded at Plat Cabinet D, Slot 448, Haywood County Registry.

TRACT FOUR - PIN 8615-88-4442

BEING Tract 4, containing approximately 2.77 acres, as shown on Plat by Rodney Norton, dated November 15, 2019, and recorded at Plat Cabinet D, Slot 448, Haywood County Registry.

TOGETHER WITH, SUBJECT TO, and INCLUDING all easements, rights of way, and other matters set forth on plat recorded in Plat Cabinet D, Slot 448, Haywood County Registry.

Being all of that property as described in that deed record in Book 997, Page 82 of the Haywood County, NC Register's Office.

 _____

From: [Donald Penson](#)
To: [Olga Grooman](#)
Cc: [David Roover](#); [Jay Harvey](#)
Subject: RE: Allison Acres - Clarification
Date: Thursday, June 27, 2024 8:30:09 PM
Attachments: [image001.png](#)

Olga,

Regarding your clarification requests below:

1. We will update the legend to reflect the plan linework. Exterior existing property line is bold and correct. Right-of-way and lot lines will appear similar (____ _ _ ____). Setbacks to be added to the new lots and will appear as (____ _ _ ____). We will ensure this is clear on our upcoming resubmittal.
2. Net increase in impervious: 2.13-AC (We will add this pre/post data to the plans.)
 Total Property Area = 7.71 acres
 Pre-Impervious = 0.59 acres (8%)
 Post-Impervious = 2.72 acres (35%)
3. Pervious area remaining: 4.99 AC (65%)

As I mentioned on our call earlier, Patrick relayed the civic space information. I found the code reference you've identified. Thank you for bringing this to my attention. 13% of the total site acreage will be designated as civic space. We've also got a plan to implement the hammerhead turnarounds discussed at our TRC rather than the 96' diameter cul-de-sacs.

Limits of Disturbance has been reduced from 7.5-acres to **7.25-acres** (likely just over 7.0 acres but as you know we are working thru a few final items at the East St ROW).

The newly proposed Allison Acres has decreased density and disturbance to better compliment the site's terrain. More single-family homes have been utilized. Single-family units have been stepped along the steeper roadway segments in a fashion that offers more flexibility than townhomes. Accessibility has been improved as there won't be as many stairs required to enter the units. These products will be more comparable to the surrounding neighborhoods. This project also implements the latest Fire Apparatus Access Road standards from Appendix D. The intent of this project is still to create fee simple lots for each townhome and single-family unit while maximizing open/civic space. Civic space connection now proposed with Queen Subdivision to the east. In addition to the previously approved conditions, the developer is requesting an amended Conditional District which incorporates the following updates:

Reduction of Lot Dimensions and Setbacks – LDS 2.4.1

Specifically, 3a, 3c, 4a as previously identified **and 4c**.

4(c) – Minimum building side setback (from adjacent lot)

Townhome lots will have no side setbacks as the lot lines will match fire separation walls.

Single-family lots proposed with 8' side setbacks rather than 10'.

As described above, single-family units are more practical to traverse steeper topography and offer better accessibility than townhomes (less stairs). Sprawl reduced. Open space optimized.

4(c) would not apply to new interior lots. Existing exterior property line setbacks will still be compliant with NR & UR districts (10' front, 5' secondary front, 10' side, 6' rear). We will clearly depict with dimensions in the plans.

Streets and Off-Street Parking – Previous conditions apply. Clustered perpendicular parking provided in front of townhomes. Where single-family homes have been implemented a more traditional residential street cross-section with driveways has been proposed. A 45' ROW with planting strip has been shown where terrain permits. Parking shall be permitted in the ROW, but stalls/driveways have been designed with adequate depth (18'+) to ensure sidewalks and fire access roads have not been impeded.

Section 5.8.4(A&B) – Previous condition stands. No garages proposed. Off-street parking will not be accessed via alleys. Redundant alleys eliminated to decrease development impacts. Open space optimized.

Section 9.4.2(B)(3) – Previous condition stands.

Section 9.4.2(C) – Previous condition stands.

Please let me know if we need to further elaborate on any items from our TRC meeting. We can finalize these conditions and any potential sidewalk implications or fee-in-lieu applicability that may come of our meeting on Monday. I am out of the office tomorrow.

Have a great weekend.

Donald Penson, PE

Civil Design Concepts, P.A. (828) 252-5388

Office locations: 168 Patton Avenue Asheville, NC 28801 | 52 Walnut Street ~ Suite 9 Waynesville, NC 28786

Mailing address: P.O. Box 5432 Asheville, NC 28813

www.cdcgo.com

From: Olga Grooman <ogrooman@waynesvillenc.gov>

Sent: Wednesday, June 26, 2024 11:32 AM

To: Donald Penson <dpenson@cdcgo.com>

Subject: Allison Acres - Clarification

Hi Donald,

Can you please clarify a few things on the proposed plan:

1. I have attached the PDF where the legend conflicts. _____ - - _____ line is a right-of way line according to the legend, but it is pointed as a lot line with the arrow on site itself (bottom of the page). However, the legend also says that _____ is a lot line. So which one is it? Can you explain the details of the lots please.
2. What is the net increased impervious surface of the development?
3. What is proposed pervious surface upon completion? (min 10% required).

If you could get this information to me as soon as possible, I would really appreciate it. We need it for the staff report.

Also, we called Patrick and discussed a few more items with him, including the civic space

Report For

QP ALLISON LLC
430 LEXINGTON ST FL 2
AUBURNDALE, MA 02466-1916

Account Information

PIN: 8615-88-1632
Deed: 1062/1680

1062/1678
CABD/448

Site Information

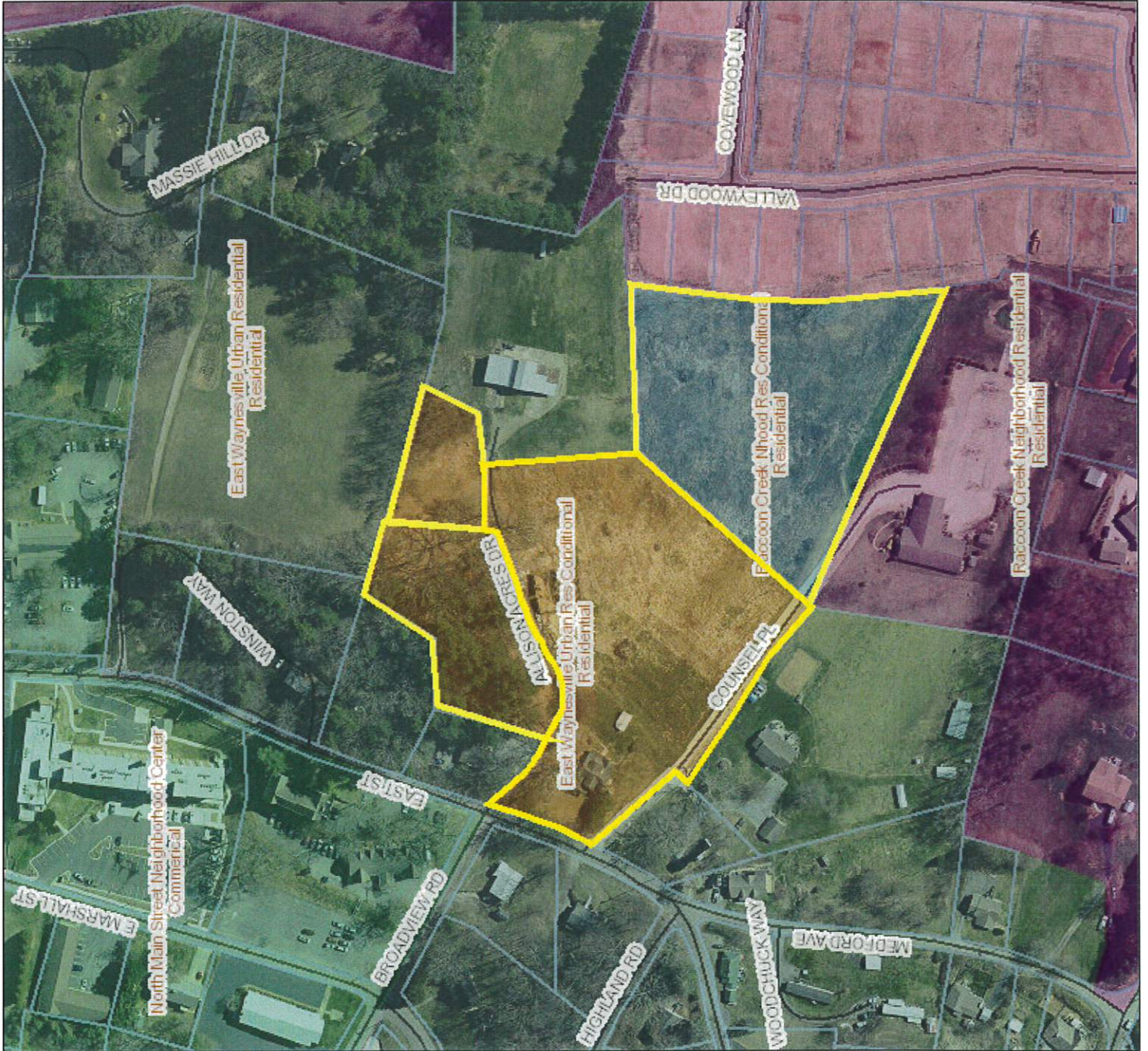
JOE ALLISON ESTATE
DWELLING

18 ALLISON ACRES DR

Heated Area: 2504
Year Built: 1926
Total Acreage: Acres
Township: Town of Waynesville

Site Value Information

Land Value:
Building Value:
Market Value:
Deferred Value:
Assessed Value:
Sale Price:
Sale Date: 5/10/2022
Tax Bill 1:
Tax Bill 2:



1 inch = 200 feet
July 9, 2024

Disclaimer: The maps on this site are not surveys. They are prepared from the inventory of real property found within this jurisdiction and are compiled from recorded deeds, plats and other public records and data. Users of this site are hereby notified that the aforementioned public primary information sources should be consulted for verification of any information contained on these maps. Haywood county and the website provider assume no legal responsibility for the information contained on these maps.

This map print out contains graphics

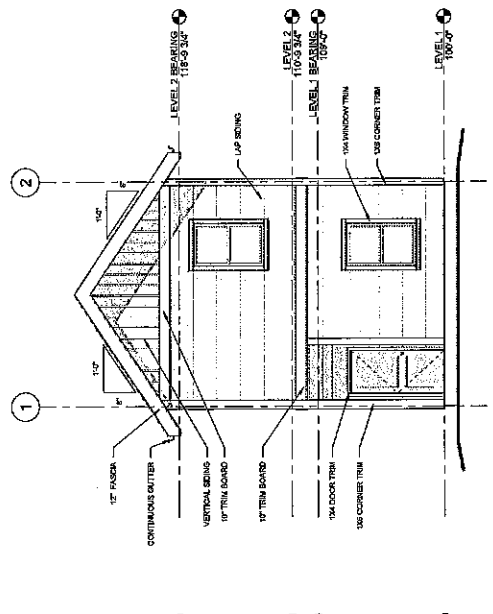
95

Allison Acres Dr

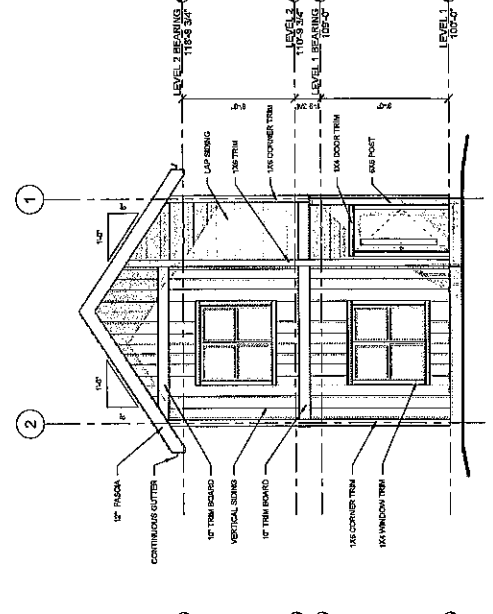
Proposed Crosswalk Area



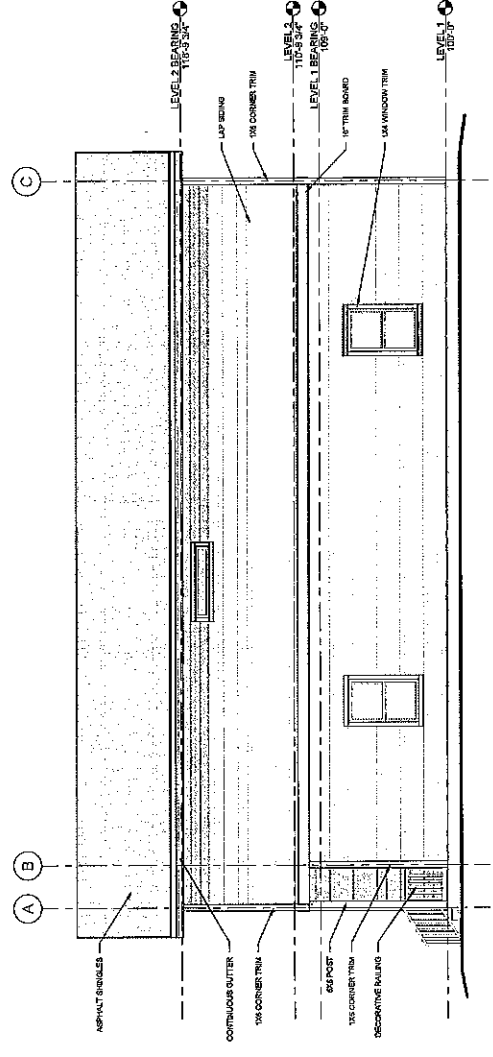
76



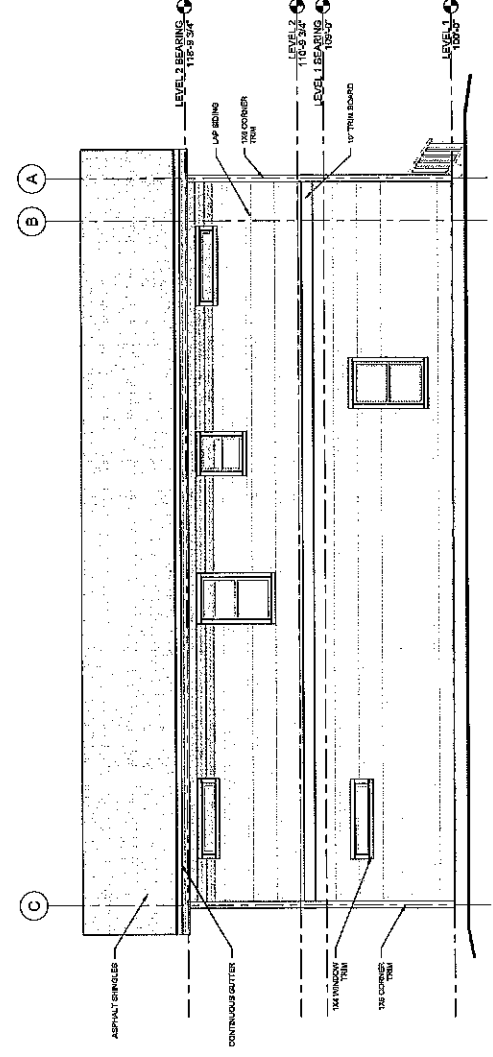
2 CHARLESTON - REAR ELEVATION
 1/4" = 1'-0"



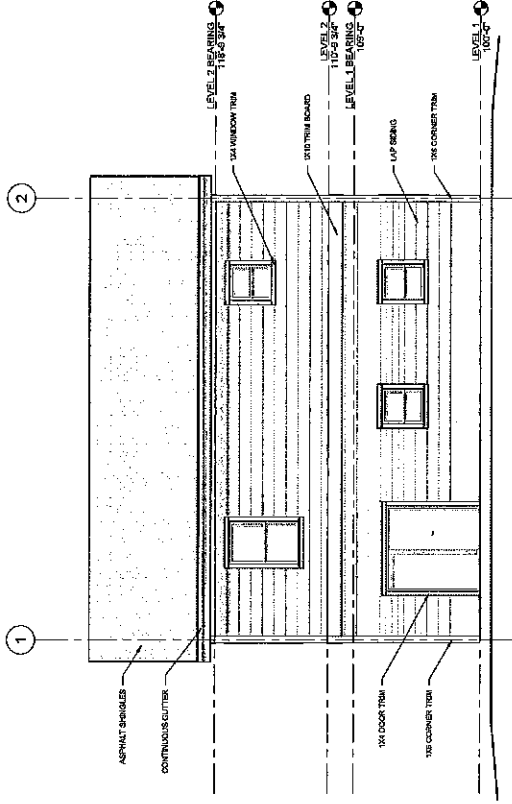
1 CHARLESTON - FRONT ELEVATION
 1/4" = 1'-0"



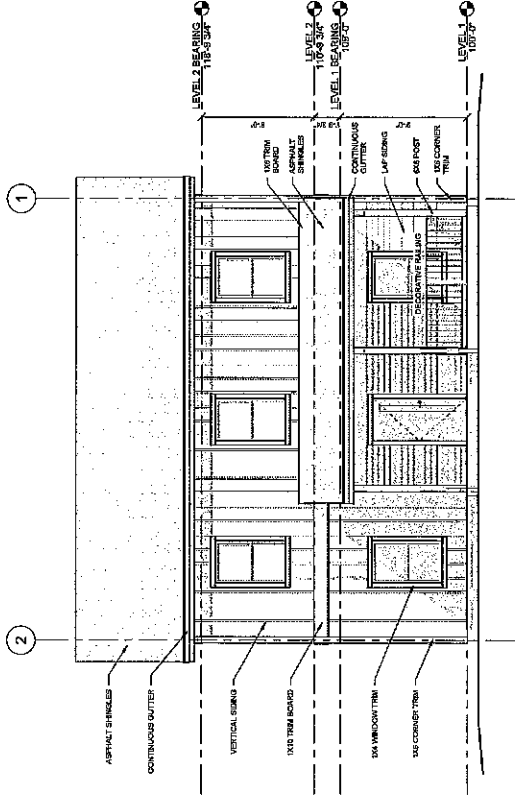
4 CHARLESTON - RIGHT ELEVATION
 1/4" = 1'-0"



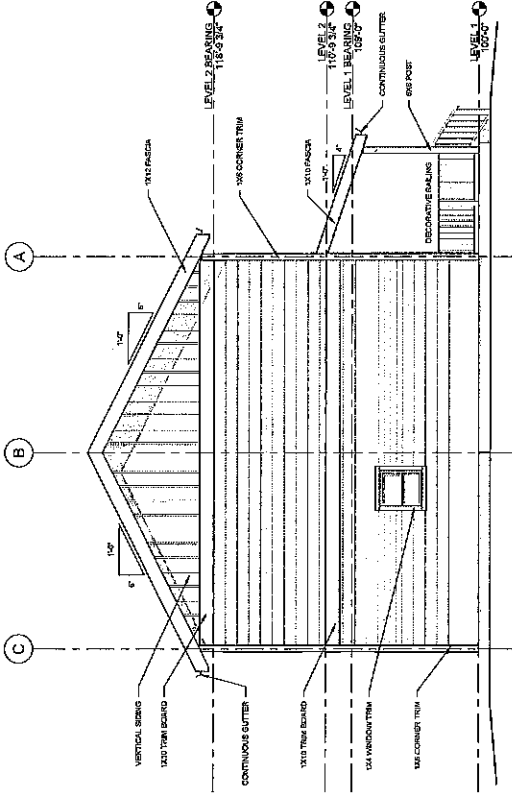
3 CHARLESTON - LEFT ELEVATION
 1/4" = 1'-0"



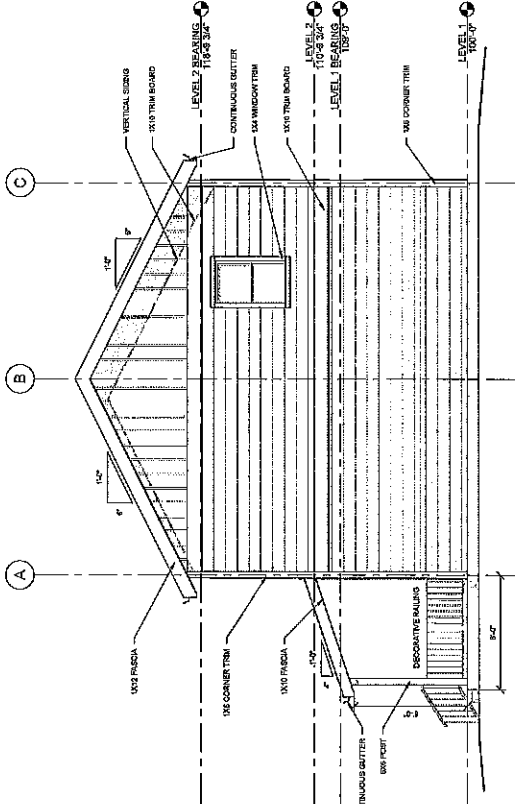
2 CHARLOTTE - REAR ELEVATION 2/3 PORCH
 1/8" = 1'-0"



1 CHARLOTTE - FRONT ELEVATION 2/3 PORCH
 1/8" = 1'-0"



4 CHARLOTTE - LEFT ELEVATION 2/3 PORCH
 1/8" = 1'-0"



3 CHARLOTTE - RIGHT ELEVATION 2/3 PORCH
 1/8" = 1'-0"

EVstudio

Danner, CO
 Denver, CO
 Boulder, CO
 Austin, TX
 303.870.7242
 info@evstudio.com
 www.evstudio.com

Contact:
 Gustavo Nolasco
 303.870.7242 x30

QUARTZ PROPERTIES
CHARLOTTE

AC221555.01

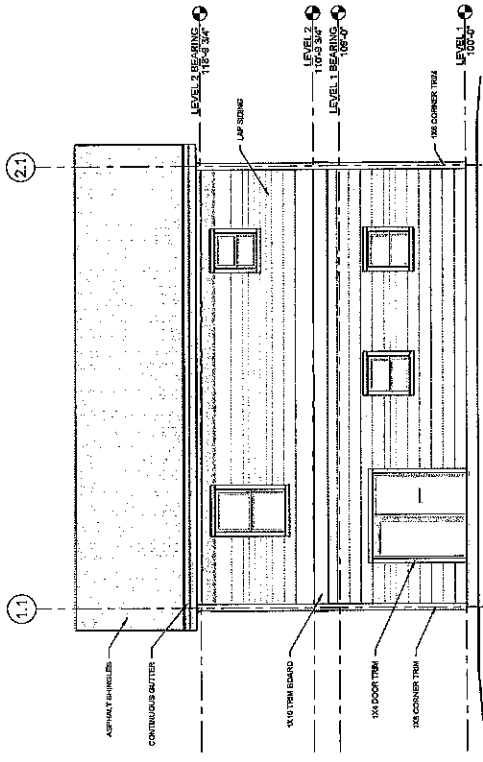
NOT FOR
 PERMITTING OR
 CONSTRUCTION

COMPANY SHALL
 BE RESPONSIBLE FOR
 THE ACCURACY OF THE
 INFORMATION
 PROVIDED

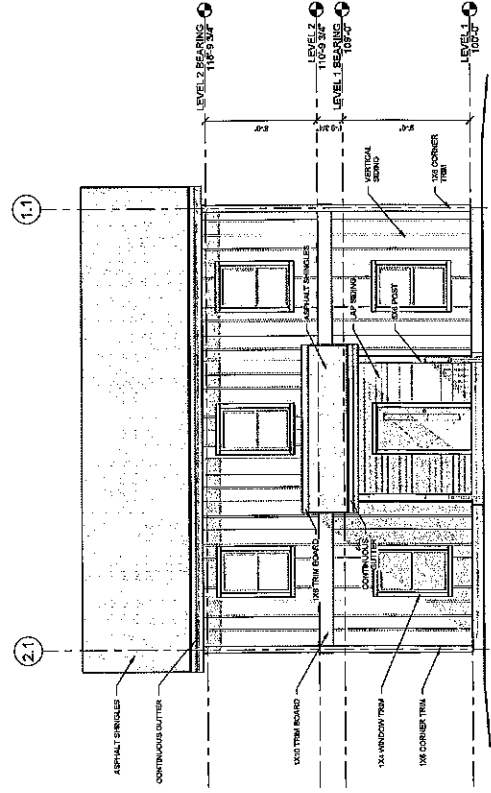
DESIGN DEVELOPMENT
 DRAWING SET
 APPROVED BY:
 DATE: 08/14/2024

**CHARLOTTE
 ELEVATIONS
 PORTICO**

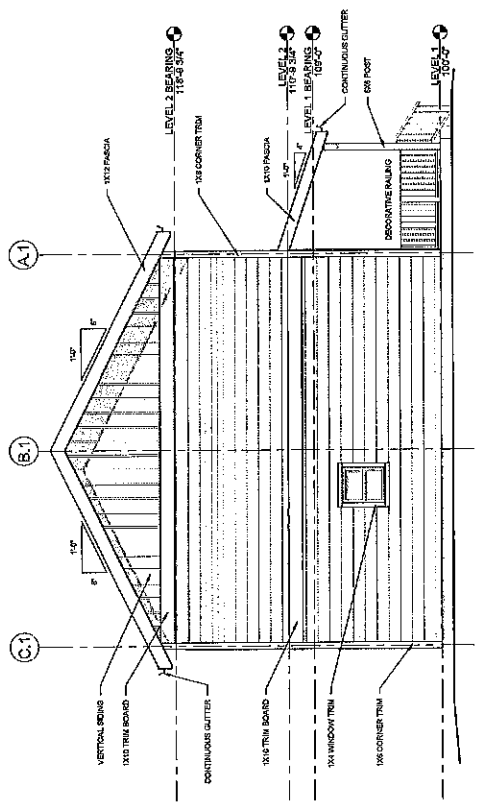
A202



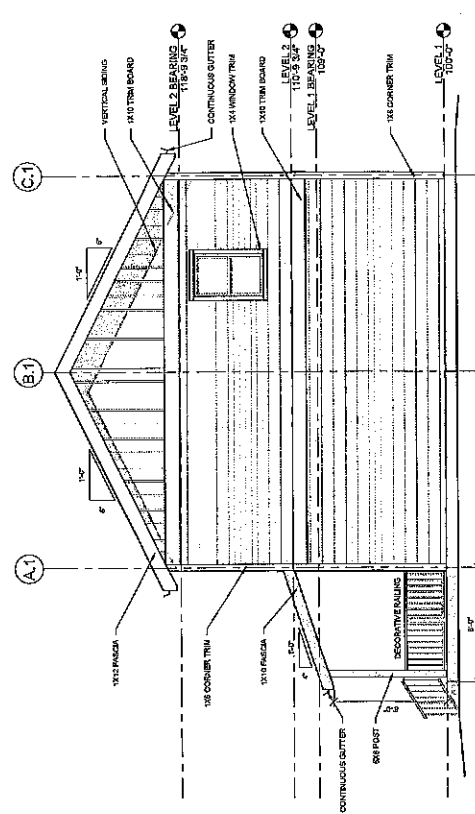
2 CHARLOTTE - REAR ELEVATION PORTICO
 8'-0\"/>



1 CHARLOTTE - FRONT ELEVATION PORTICO
 8'-0\"/>



4 CHARLOTTE - LEFT SIDE ELEVATION PORTICO
 8'-0\"/>



3 CHARLOTTE - RIGHT SIDE ELEVATION PORTICO
 8'-0\"/>

ALL FINISHES DESIGN TO BE DETAILED DESIGN FOR TOWNHOME AND APARTMENT BUILDINGS. DETAILED DESIGN SHALL BE SUBMITTED TO THE CITY OF DENVER FOR REVIEW AND APPROVAL. FINISHES AND MATERIALS SHALL BE SPECIFIED IN THE FOLLOWING ARCHITECTURAL FEATURES ON ALL ELEVATIONS AS APPROPRIATE FOR THE PROJECT AND STYLE. FINISHES AND MATERIALS SHALL VARY AS APPROPRIATE FOR THE PROJECT AND STYLE.

- DOWNERS
- GABLES
- COVERED PORCH OR STOOP ENTRIES
- BRICK OR STONE
- PILLARS OR POSTS
- GUTTERING AND FLASH PROTECTION WHICH MAY INCLUDE GUTTER
- WINDOW TRIM (MINIMUM 4 INCHES WIDE)
- BALCONIES
- PORCHES
- BALCONIES
- CONCRETE PATIOS AND TERRACES
- CONCRETE PATIOS AND TERRACES
- SMALL ARCHITECTURAL FEATURES APPROPRIATE TO THE ARCHITECTURAL STYLE OF THE HOUSE
- OTHER ARCHITECTURAL FEATURES APPROPRIATE TO THE ARCHITECTURAL STYLE OF THE HOUSE

REFER TO ELEVATIONS ARCHITECTURAL FEATURES CALLED OUT IN BLUE

QUARTZ PROPERTIES TRIPLEX

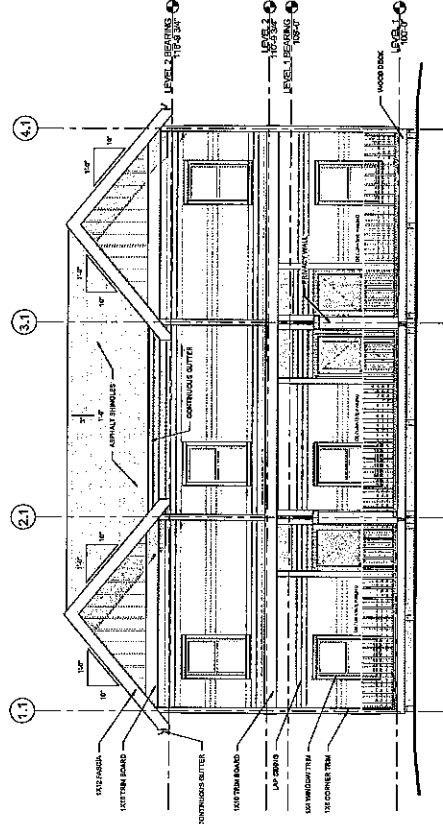
AC22155.01

NOT FOR
 PERMANENT
 RECORD OR
 CONSTRUCTION

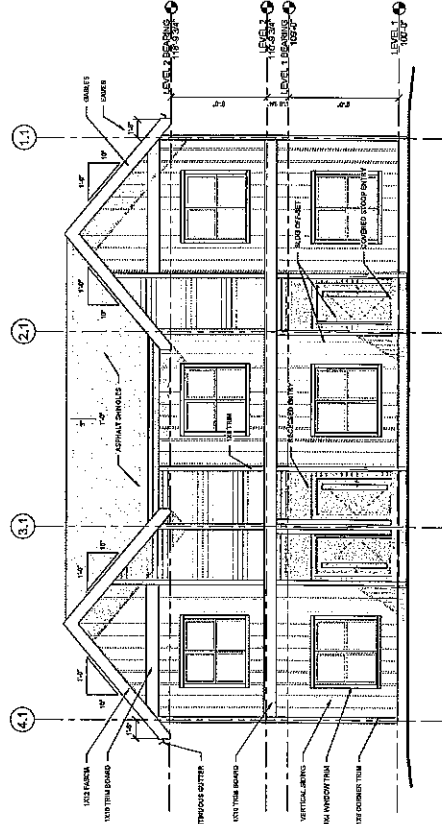
DATE PREPARED: 02/20/2024
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]

TRIPLEX
 ELEVATIONS
 OPT 2

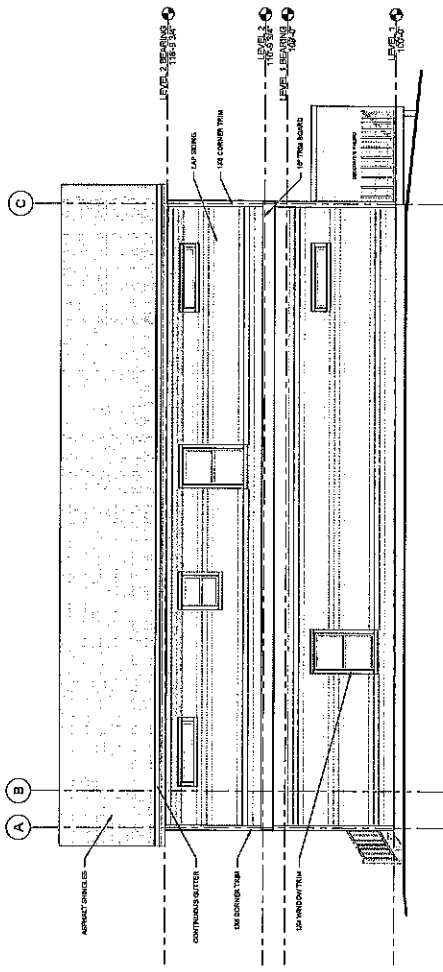
A202



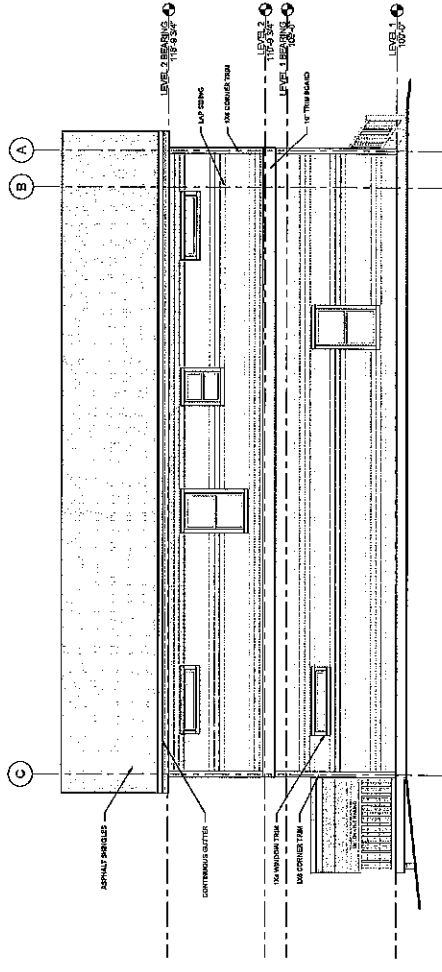
2 TRIPLEX - REAR ELEVATION OPT 2
 1/8" = 1'-0"



1 TRIPLEX - FRONT ELEVATION OPT 2
 1/8" = 1'-0"



4 TRIPLEX - LEFT ELEVATION OPT 2
 1/8" = 1'-0"



3 TRIPLEX - RIGHT ELEVATION OPT 2
 1/8" = 1'-0"

2022 Plan



sitework
STUDIOS

LANDSCAPE ARCHITECTURE
200-949-0028 | 1000 WASHINGTON STREET, SUITE 200 | NEWTON, MA 02459

CONSULTANT

REWARD FOR
ALLISON ACRES

QUARTZ PROPERTIES, LLC
438 LEXINGTON STREET, 2ND FLOOR
NEWTON, MA 02459

NO.	REVISIONS	DATE

NOT FOR
CONSTRUCTION

DATE: 03.01.2022
SHEET TITLE:
MASTER SITE
PLAN
SHEET NO:
L-200

CONTRACT PURCHASER/DEVELOPER
QUARTZ PROPERTIES, LLC
Contact: Jake Libaro
430 Lexington Street, 2nd Floor
Newton, MA 02459
200-949-0028

LANDSCAPE ARCHITECT
Sitework Studios
82 Patton Avenue, Suite 700
Newton, MA 02459
(617) 552-1301
msr@siteworkstudios.com

PROJECT ADDRESS
Wayneville, NC 28723

PIR:
TRACT 1: 8615-88-1422
TRACT 2: 8615-88-1822
TRACT 3: 8615-88-3857
TRACT 4: 8615-88-4442

Total Acreage: 7.71 acres

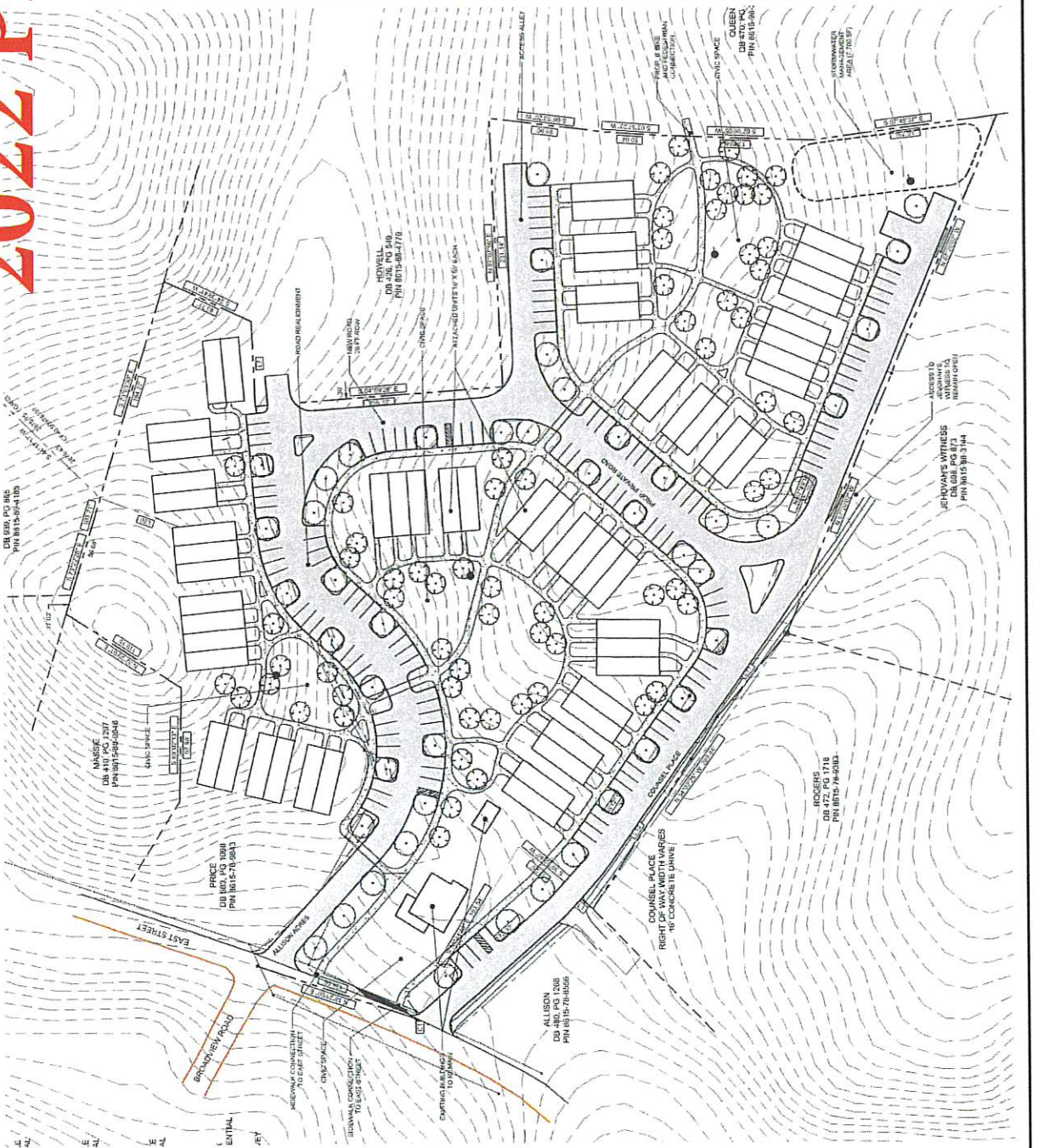
DEVELOPMENT SUMMARY
Zone: R-10
East Wayneville Urban Residential District (EWUR)
Raccoon Creek Neighborhood Residential (RC-NR)

Units:
24 Multi-Family Buildings
58 Attached Units

Density:
EWUR/RC-NR = 16 units/acre
16771 = 123 units allowed
58 units provided (7.6 units/acre)

Parking (shown for Townhome/Multifamily):
Required Parking = 1.5 spaces/unit (88 required)
Proposed Parking = 136 spaces (2.3 spaces/unit)
Accessible Parking = 5 spaces

Civils Spacing:
EWUR: 5%
RC-NR: 5%
required: 7.71 x 5% = .39 acres
provided: 2.11 acres (27% of total acreage)



THIS DOCUMENT IS THE PROPERTY OF SITWORK STUDIOS, LLC
NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM SITWORK STUDIOS, LLC.

ORDINANCE NO. 0-23-22

**Originally
Approved
Conditional
District**

**AN ORDINANCE AMENDING THE ZONING MAP
OF THE TOWN OF WAYNESVILLE
TO ESTABLISH A CONDITIONAL DISTRICT AT
18 ALLISON ACRES DRIVE (PIN 8615-88-1632),
97 ALLISON ACRES DRIVE (PIN 8615-88-3857), AND
TWO VACANT PARCELS (PINs 8615-88-1854 & 8615-88-4442)**

WHEREAS, the Town of Waynesville has the authority, pursuant to North Carolina General Statutes, to adopt land development regulations, clarify such regulations, and may amend said regulations from time to time in the interest of the public health, safety and welfare; and

WHEREAS, the Planning Board held a duly noticed public hearing, reviewed the proposed site plan and request, and found it is consistent with The Town of Waynesville 2035 Land Development Plan and is reasonable and in the public interest, and has voted to recommend adoption by the Board of Aldermen; and

WHEREAS, the Board of Aldermen held a duly noticed public hearing, on this date of April 26, 2022; and

WHEREAS, the Board of Aldermen reviewed the proposed site plan and request, and found that it is consistent with the Town of Waynesville’s 2035 Comprehensive Plan and that it is reasonable and in the public interest in the following ways:

- Goal 1 – Continue to promote smart growth principles in land use planning and zoning.
 - Create walkable and attractive neighborhoods and commercial centers.
 - Encourage infill, mixed-use and context-sensitive development.

- Goal 2 – Create a range of housing opportunities and choices.
 - Encourage new housing inside Waynesville’s city limits and ETJ.
 - Promote a diverse housing stock including market rate, workforce housing and affordable options that appeal to a variety of households.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE TOWN OF WAYNESVILLE, MEETING IN REGULAR SESSION ON APRIL 26, 2022, AND WITH A MAJORITY OF THE BOARD MEMBERS VOTING IN THE AFFIRMATIVE, TO ESTABLISH A CONDITIONAL DISTRICT AS FOLLOWS:

Section One: To establish a Conditional District in accordance with the site plan attached and on lots to be recorded with the metes and bounds shown as “ATTACHMENT A.”

Section two: The following provisions of the Land Development Standards be amended to apply within the Conditional District as follows:

- Chapter 2 – Table 2.4.1
 - 3(a) – Minimum lot size shall not apply.
 - 3(c) – Minimum lot width shall not apply.
 - 4(a) – Front setbacks shall not apply.
- Chapter 5 – Section 5.8.4(A) – The requirement that off-street parking areas shall be accessed only from an alley for houses on lots less than 50 feet in width shall not apply.

Chapter 5 – Section 5.8.4(B) – The requirement that off-street parking areas shall be accessed only from an alley for lots with townhouses shall not apply.
- Chapter 9 – Section 9.4.2(B)(3) – The requirement that parking and maneuvering areas be arranged to allow vehicles to enter and leave the premises or parking areas in a forward motion shall not apply.
- Chapter 9 – Section 9.4.2(C) – The requirement that all off-street parking areas be designed so that vehicles will not be required to back onto or maneuver in the public right-of-way shall not apply.

Section three: The applicant accepts conditions to 1) finalize agreement with owners of 110 Allison Acres Drive (PIN 8615-88-4770) to continue deeded easement and access to waterlines, and 2) to comply with Land Development Standards related to landscaping and line of site requirements through town staff approvals.

ADOPTED this Twenty-Sixth Day of April, 2022 with a vote of 4 to 1.

TOWN OF WAYNESVILLE

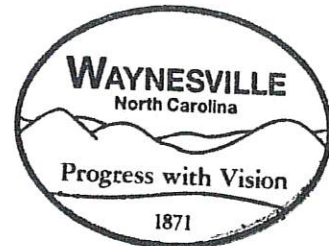
Gary Caldwell
 Gary Caldwell, Mayor

ATTEST:

Eddie Ward
 Eddie Ward, Town Clerk

APPROVED AS TO FORM:

Martha Sharpe Bradley
 Martha Sharpe Bradley, Town Attorney



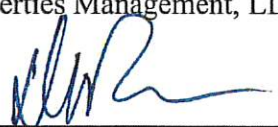
ATTACHMENT B TO ORDINANCE NO. 0-23-22
AN ORDINANCE AMENDING THE ZONING MAP
OF THE TOWN OF WAYNESVILLE
TO ESTABLISH A CONDITIONAL DISTRICT AT
18 ALLISON ACRES DRIVE (PIN 8615-88-1632),
97 ALLISON ACRES DRIVE (PIN 8615-88-3857), AND
TWO VACANT PARCELS (PINs 8615-88-1854 & 8615-88-4442)

CONSENT TO CONDITIONS OF CONDITIONAL DISTRICT ZONING

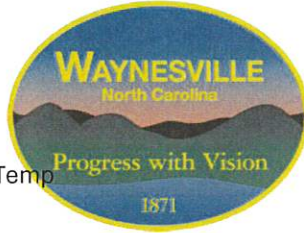
Pursuant to NCGS 160D-703(b), Applicant Quartz Properties Management, LLC, does hereby consent to the conditions set out in Section 3 of the above-captioned ordinance.

This the 26 day of May, 2022

Quartz Properties Management, LLC

By: 
David Roover, Senior Vice President
Quartz Properties Management, LLC

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Gary Caldwell, Mayor
Clarence "Chuck" Dickson, Mayor Pro Temp
Julia Freeman, Council Member
Jon Feichter, Council Member
Anthony Sutton, Council Member

Robert W. Hites, Jr. Town Manager
Martha Bradley, Town Attorney

Date: June 24, 2024
Re: Allison Acres
Cc: Olga Grooman, Assistant Development Services Director

Utility Letter

To whom it may concern,
The Town of Waynesville can provide water, sewer and electric services to the Allison Acres Development. The Developer has already paid the system development fees for the sewer allocations that are associated with the development. If you have any questions, feel free to contact me.

Sincerely,
Jeff Stines
Director of Public Services
Town of Waynesville

ENVIRONMENTAL SURVEY

FOR

A Proposed 7.73 Acre Development Allison Acres

PIN #'s 8615-88-3857 / 8615-88-1854 / 8615-88-1632 / 8615-88-4442

APPLICANT:

Quartz Properties, LLC
430 Lexington St, 2nd Floor
Newton, MA 02466

PREPARED BY:



168 Patton Ave.
Asheville, NC 28801
Phone: 828-252-5388
Fax: 828-252-5365

52 Walnut Street – Suite 9
Waynesville, NC 28786
Phone: 828-452-4410
Fax: 828-456-5455

www.cdngo.com

NCBELS LICENSE #: C-2184



Project Name: Proposed 7.73 Acre Development along Allison Acres Drive
Haywood County PIN # 8615-88-3857 / 8615-88-1854 / 8615-88-1632 / 8615-88-4442

Project Location: Waynesville, NC
CDC Project No. 22205
Date: May 29, 2024

The proposed development is located off of Allison Acres Drive Waynesville, North Carolina. The development parcels include PIN # 8615-88-3857 / 8615-88-1854 / 8615-88-1632 and 8615-88-4442 as shown by Haywood County GIS and the proposed development area is approximately 7.73 acres.

Three of the subject parcels are located in the East Waynesville – Urban Residential zoning district and the remaining parcel is located in the Racoon Creek – Neighborhood Residential. The proposed development parcels include a mix of open grassland and scattered structures, including two residential buildings. The proposed site improvements would include a proposed road network, storm drainage, water and sewer facilities to support a development of 50 proposed townhouse units.

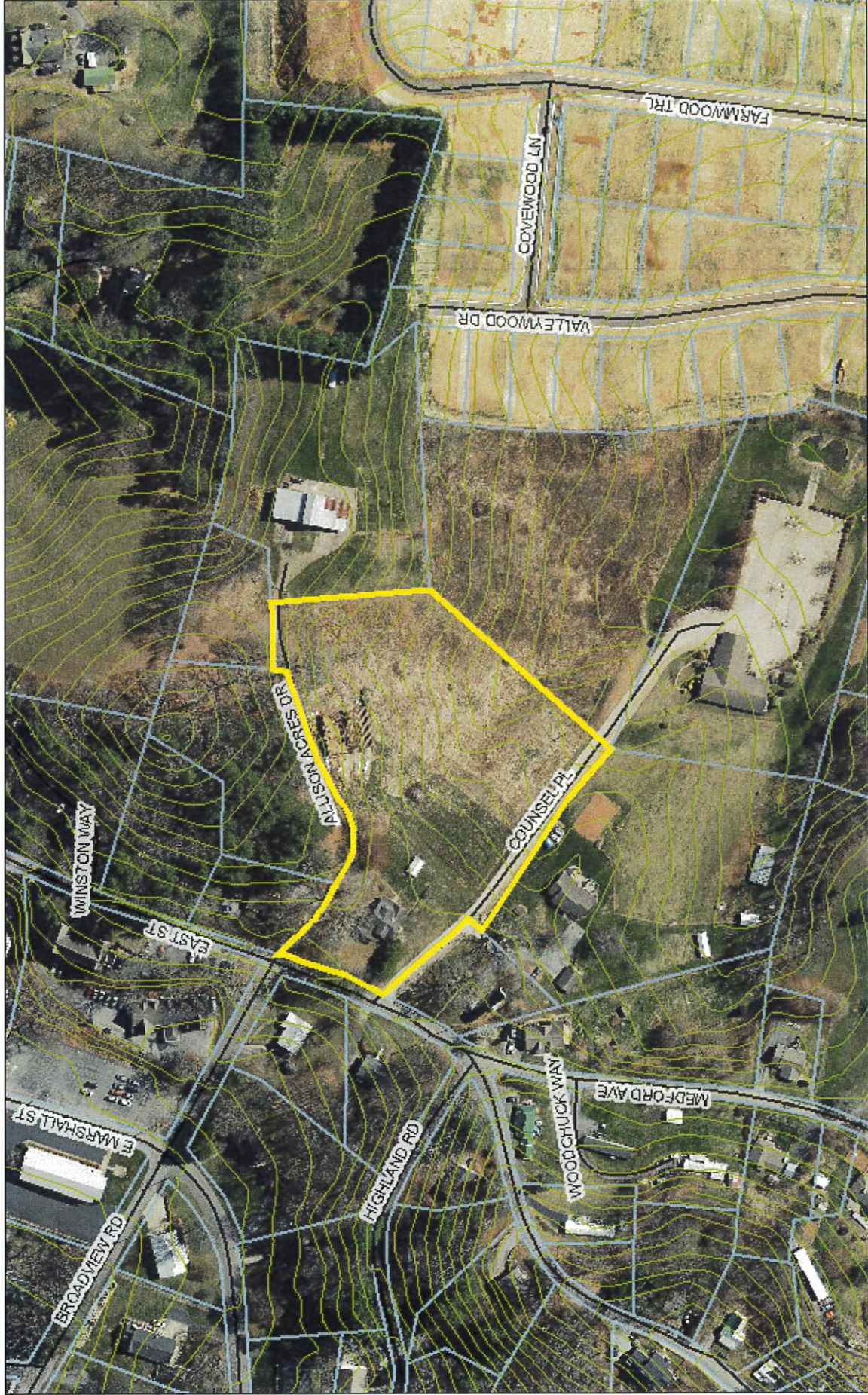
The property is located in Zone X on the FEMA Flood Insurance Rate Maps and no portion of the site is located in a Special Flood Hazard Area. The project area can be found from the FEMA FIRM 3700861500J with an effective date of April 3, 2012.

The site soils consist of the following classifications: Evard-Cowee (EvD) and Saunook Loam (SdC). All of these soils are described as being well drained and have no frequency of flooding per the USDA and NRCS data sources.

Erosion control measures during construction will consist of silt fences, a sediment basin, temporary diversion ditches and other conventional measures. Post-construction stormwater control measures will consist of conveyance pipes, permanent ditches and a Stormtech system to control post development runoff and water quality.

Mailing Address: P.O. Box 5432, Asheville, NC 28813
168 Patton Avenue Asheville, NC 28801 52 Walnut Street Ste. 9, Waynesville, NC 28786
Phone 828-252-5388 Fax 828-252-5365 Phone: 828-452-4410 Fax: 828-456-5455

Haywood County



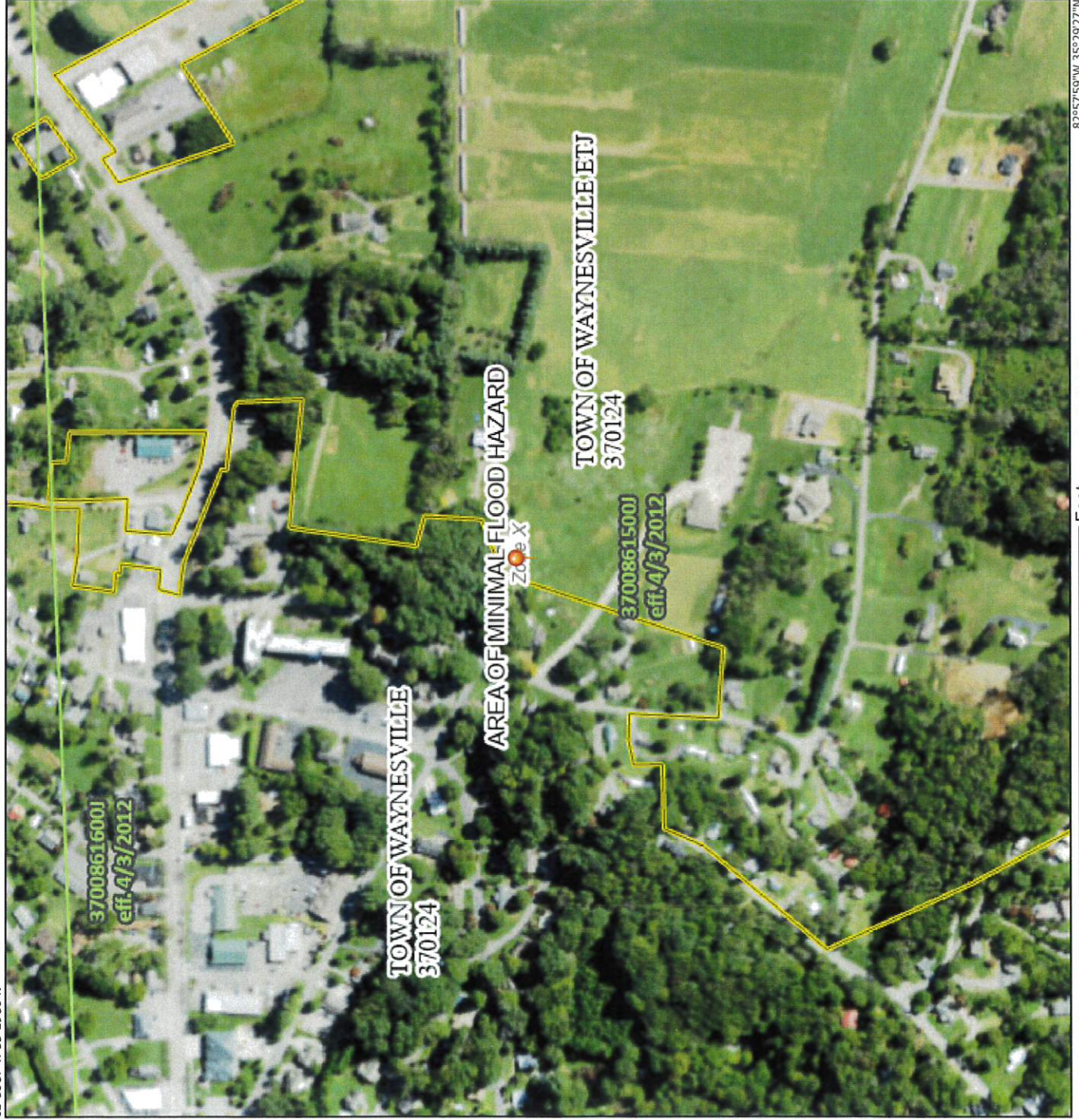
May 29, 2024

1:2,249
0 0.0175 0.035 0.06 0.07 mi
0 0.03 0.06 0.12 km

National Flood Hazard Layer FIRMette



82°58'37"W 35°29'56"N



82°57'59"W 35°29'27"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

<p>SPECIAL FLOOD HAZARD AREAS</p> <ul style="list-style-type: none"> Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway 	<p>OTHER AREAS OF FLOOD HAZARD</p> <ul style="list-style-type: none"> 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X Future Conditions 1% Annual Chance Flood Hazard Zone X Area with Reduced Flood Risk due to Levee, See Notes. Zone X Area with Flood Risk due to Levee Zone D
<p>OTHER AREAS</p> <ul style="list-style-type: none"> NO SCREEN Area of Minimal Flood Hazard Zone X Effective LOMRS Area of Undetermined Flood Hazard Zone D 	<p>GENERAL STRUCTURES</p> <ul style="list-style-type: none"> Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
<p>OTHER FEATURES</p> <ul style="list-style-type: none"> Cross Sections with 1% Annual Chance Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature 	<p>MAP PANELS</p> <ul style="list-style-type: none"> Digital Data Available No Digital Data Available Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

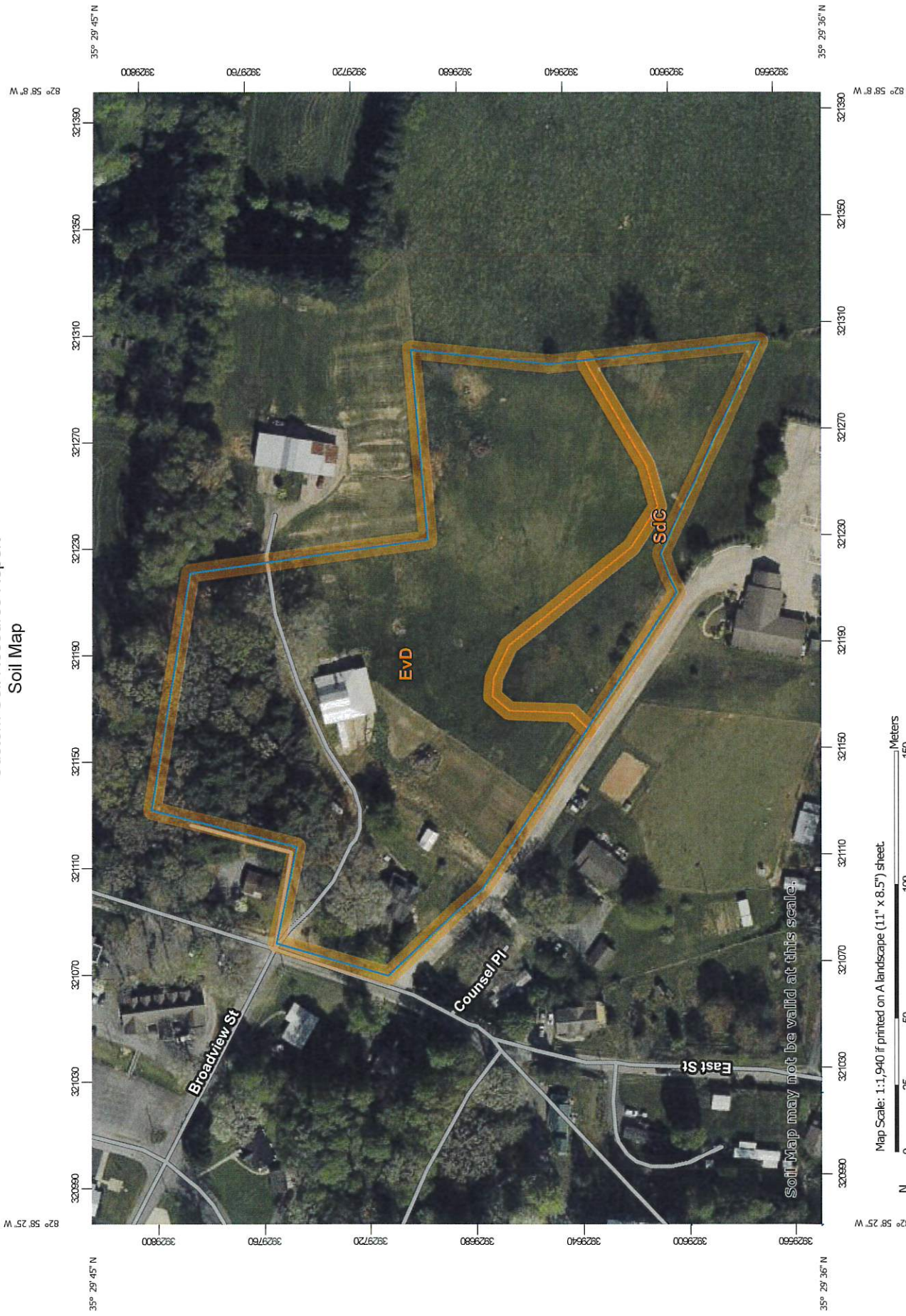
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/29/2024 at 3:42 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

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Custom Soil Resource Report Soil Map




Map Scale: 1:1,940 if printed on A landscape (11" x 8.5") sheet



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84

MAP LEGEND

-  Area of Interest (AOI)
-  Soils
-  Soil Map Unit Polygons
-  Soil Map Unit Lines
-  Soil Map Unit Points
- Special Point Features**
 -  Blowout
 -  Borrow Pit
 -  Clay Spot
 -  Closed Depression
 -  Gravel Pit
 -  Gravelly Spot
 -  Landfill
 -  Lava Flow
 -  Marsh or swamp
 -  Mine or Quarry
 -  Miscellaneous Water
 -  Perennial Water
 -  Rock Outcrop
 -  Saline Spot
 -  Sandy Spot
 -  Severely Eroded Spot
 -  Sinkhole
 -  Slide or Slip
 -  Sodic Spot
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography
-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Haywood County Area, North Carolina
 Survey Area Data: Version 25, Sep 13, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

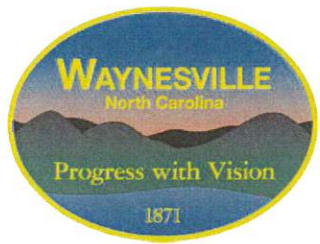
Date(s) aerial images were photographed: Apr 1, 2022—May 9, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Custom Soil Resource Report

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
EvD	Evard-Cowee complex, 15 to 30 percent slopes	5.9	83.3%
SdC	Saunook loam, basin, 8 to 15 percent slopes, stony	1.2	16.7%
Totals for Area of Interest		7.1	100.0%



TOWN OF WAYNESVILLE

Development Services Department

PO Box 100

9 South Main Street

Waynesville, NC 28786

Phone (828) 456-8647 • Fax (828) 452-1492

www.waynesvillenc.gov

FOR PUBLICATION IN THE MOUNTAINEER: June 26th and July 3rd (Wednesday) editions

Date: June 18, 2024

Contact: Olga Grooman, (828) 356-1172

Notice of Public Hearings (2) Town of Waynesville Planning Board

The Town of Waynesville Planning Board will hold two (2) public hearings on **Monday, July 15, 2024 at 5:30 pm** in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider:

1. A major site plan application for the 0.83-acre unaddressed parcel off Russ Avenue in Waynesville, NC 28786 (PIN 8616-38-5985). The site is a proposed location for the Haywood County EMS facility.
2. An amendment to the Conditional District for four (4) properties off Allison Acres Drive (PINs 8615-88-1632, 8615-88-4442, 8615-88-1854, and 8615-88-3857). The properties contain 7.73 acres. This is a proposed 50-unit development of single-family homes and townhomes.

For more information contact the Development Services Department at: (828) 356-1172, email: ogrooman@waynesvillenc.gov, mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.



TOWN OF WAYNESVILLE

Development Services Department

PO Box 100

9 South Main Street

Waynesville, NC 28786

Phone (828) 456-8647 • Fax (828) 452-1492

www.waynesvillenc.gov

June 24, 2024

Notice of Public Hearing Town of Waynesville Planning Board

The Town of Waynesville Planning Board will hold a public hearing on **Monday, July 15, 2024 at 5:30 pm** in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider an amendment to the Conditional District for four (4) properties off Allison Acres Drive (PINs 8615-88-1632, 8615-88-4442, 8615-88-1854, and 8615-88-3857). The properties contain 7.73 acres. This is a proposed 50-unit development of single-family homes and townhomes.



For more information contact the Development Services Department at: (828) 356-1172, email: ogrooman@waynesvillenc.gov, mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.

Property Posted
on
6-24-2024

THE TOWN OF WAYNESVILLE
PLANNING BOARD
WILL HOLD A PUBLIC HEARING
ON JULY 15, 2024, AT 5:30 PM
IN THE TOWN HALL BOARD ROOM
AT 9 SOUTH MAIN ST.
TO CONSIDER AN
AMENDMENT TO THE CONDITIONAL DISTRICT
CONTACT
THE DEVELOPMENT SERVICES DEPARTMENT
T: 828-456-8647

115

Property Posted
on
6-24-2024

THE TOWN OF WAYNESVILLE
PLANNING BOARD
WILL HOLD A PUBLIC HEARING
ON JULY 15, 2024, AT 5:30 PM
IN THE TOWN HALL BOARD ROOM
AT 9 SOUTH MAIN ST.
TO CONSIDER AN
AMENDMENT TO THE CONDITIONAL DISTRICT
CONTACT
THE DEVELOPMENT SERVICES DEPARTMENT
T: 828-456-8647

116

117

Allison Acres Dr

Sunny Ridge Farm

Property Posted
on
6-24-2024

THE TOWN OF WAYNESVILLE
PLANNING BOARD
WILL HOLD A PUBLIC HEARING
ON JULY 15, 2024, AT 5:30 PM
IN THE TOWN HALL BOARD ROOM
AT 9 SOUTH MAIN ST.
TO CONSIDER AN
AMENDMENT TO THE CONDITIONAL DISTRICT
CONTACT
THE DEVELOPMENT SERVICES DEPARTMENT
T: 828-456-8647

Property Posted

on

6-24-2024

THE TOWN OF WAYNESVILLE
PLANNING BOARD
WILL HOLD A PUBLIC HEARING
ON JULY 15, 2024, AT 5:30 PM
IN THE TOWN HALL BOARD ROOM
AT 9 SOUTH MAIN ST.
TO CONSIDER AN
AMENDMENT TO THE CONDITIONAL DISTRICT
CONTACT
THE DEVELOPMENT SERVICES DEPARTMENT
T. 828-456-8647

NOTICE OF NEIGHBORHOOD MEETING

Dear Property Owner,

In accordance with Section 15.3.7 of the Town of Waynesville Land Development Standards, this letter serves as notification that there will be a neighborhood informational meeting held to discuss a proposed land development project within your community. You are being notified as you own or reside at a property in proximity to the proposed development. The details of the meeting and locations of the projects are as follows:

Meeting Information

What	Allison Acres Subdivision The property is 7.73 acres. This is a proposed 50-unit development of single-family homes and townhomes.
When	July 12th, 12:00 PM – 1:00 PM
Where	Town of Waynesville Municipal Building 16 S. Main St. Waynesville, NC 28786

Proposed Allison Acres Single Family Development Area



More detailed information for the proposed development will be available for review at the Neighborhood Meeting noted above.

We hope that you can attend.