



# TOWN OF WAYNESVILLE Planning Board

9 South Main Street  
Suite 110  
Waynesville, NC 28786  
Phone (828) 456-8647 • Fax (828) 452-1492  
[www.waynesvillenc.gov](http://www.waynesvillenc.gov)

Development Services  
Director  
Elizabeth Teague

**Planning Board Members**  
Susan Teas Smith (Chairman)  
Ginger Hain (Vice Chair)  
Stuart Bass  
John Baus  
R. Michael Blackburn  
Travis Collins  
Jan Grossman  
Tommy Thomas  
Blake Yoder

**Special Called Meeting of the Planning Board  
Town Hall, 9 South Main Street, Waynesville, NC 28786  
Monday, February 17, 2025, 5:30 PM**

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## A. CALL TO ORDER

1. Welcome/Calendar/Announcements
  - Council Meetings available: <https://www.youtube.com/@TownofWaynesville/streams>
  - Minutes available at: <https://www.egovlink.com/waynesville/docs/menu/home.asp>
2. Approval of Minutes as presented (or as amended):
  - December 5, 2024 Special Called Meeting
  - January 13, 2025, Special Called Meeting

## B. BUSINESS

1. Public Hearing to consider a major site plan application located at 115 Rowdy Road, Waynesville, NC, 28786 (8626-22-6731), site of proposed Raccoon Creek Bike Park.
2. Continuation of Public Hearing to correct Section 11.9 of the Land Development Standards pertaining to internal lighting of signage.
3. Public Hearing to consider text amendment to the Land Development Standards (Sections 2.5.3, 4.5.3, 7.2.1, and 17.3) to allow for the use of ground mounted solar panels on private property and to add EV parking as an allowable use within civic space.
4. Continued discussion of on-going ordinance research and next steps:
  - New legislation, the density workgroup, and approaches to rural preservation;
  - Short Term Rental Regulations

## C. PUBLIC COMMENT/CALL ON THE AUDIENCE

## D. ADJOURN



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Assistant Development  
Services Director  
Olga Grooman

Susan Teas Smith (Chair)  
Ginger Hain (Vice Chair)  
Stuart Bass  
John Baus  
Michael Blackburn  
Travis Collins  
Jan Grossman  
Tommy Thomas  
Blake Yoder

## MINUTES OF THE TOWN OF WAYNESVILLE PLANNING BOARD Special Called Meeting Town Hall – 9 South Main St., Waynesville, NC 28786 Thursday December 5<sup>th</sup>, 2024, 5:30 p.m.

THE WAYNESVILLE PLANNING BOARD held a Special Called Meeting on Thursday December 5<sup>th</sup>, 2024, at 5:30 p.m. in the Board Room of the Town Hall at 9 South Main Street, Waynesville, NC 28786.

### A. CALL TO ORDER

#### 1. Welcome/Calendar/Announcements

The following members were present:

- Ginger Hain (Vice Chair)
- Stuart Bass
- John Baus
- Travis Collins
- Jan Grossman
- Tommy Thomas
- Blake Yoder

The following board member was absent:

- Susan Teas Smith (Chair)
- Michael Blackburn

The following attorney was present:

- Ron Sneed, Board Attorney

The following staff members were present:

- Elizabeth Teague, Development Service Director
- Olga Grooman, Assistant Development Service Director

Planning Board Minutes  
Special Called  
December 5<sup>th</sup>, 2024

Alexander Mumby, Land Use Administrator  
 Tyler Anderson, Stormwater Management Coordinator  
 Esther Coulter, Administrative Assistant

Vice Chair Ginger Hain welcomed everyone and called the meeting to order at 5:31 p.m.

Ms. Hain asked for announcements. Development Services Director Elizabeth Teague asked the board to table item #3 due to NCGS Bill 382 relating to downzoning moving through the state legislature. Attorney Ron Sneed gave a short explanation of the bill to the board.

*A motion was made by Board Member Jan Grossman, seconded by Board Member John Baus to table the discussion on item #3 of the agenda due to a bill being processed through congress. The motion passed unanimously.*

## **B. BUSINESS**

1. Discussion of draft ordinance to define and regulate Short Term Rentals within the Land Development Standards.

Ms. Teague explained that this Planning Board meeting is framed as a work session to get the opinion of the board, starting with the short term rental ordinances draft. Ms. Teague read through the staff report and draft ordinance, and asked for questions or comments.

Board Member John Baus stated that he had researched cases in other municipalities about their permitting process of STRs. Mr. Baus stated they are required to register through the finance department to pay occupancy taxes. Ms. Teague said the tourism department tracks STRs and hotel stays because of the hotel taxes. These are re-imbursed to the County TDA's by the State and are then used for grants for local projects.

Mr. Baus recommends that the town does not restrict homeowners from making a living from their properties. Mr. Baus's recommendations also included requiring liability insurance, that homes be inspected annually for safety, trash be put out weekly and kept in bear proof containers, and that a local manager be available for emergency situations.

Board Member Travis Collins stated that he is comfortable with the ordinance as presented.

Mr. Grossman asked if the ordinance should be broadened to include homestays in addition to short-term rentals.

Ms. Hain said that the town should not make ordinances that cannot be enforced. She would like enforcement measures to be written down so that she can see them.

2. Discussion of a draft ordinance related to Electric Vehicle Charging Stations and Ground Mounted Solar Panels.

Land Use Administrator Alex Mumby read through the staff report and draft ordinance.

As solar panels are an emerging technology, Mr. Hain asked for there to be language about decommissioning. Ms. Hain also wanted the ordinance to specifically call for the preservation of trees and the prioritization of rooftop solar.

Board Member Blake Yoder asked to have a visual to demonstrate the maximum portion of civic space which EV chargers could take up.

Mr. Grossman said his biggest objection is maximum height for pole-mounted solar panels being 25 feet. Mr. Grossman said the maximum height of the pole should not exceed the height of the primary structure or around 15'. Other board members agreed.

The board members and staff talked through some of the logistics of mounting solar panels. Ms. Teague stated they had given them great feedback.

3. Discussion of potential text amendment for reductions in setbacks in hillside development.

Assistant Development Service Director Olga Grooman read through her staff report and draft ordinance.

The board viewed the ordinance as an attempt to encourage development on steep slopes. The board did not support the draft ordinance moving forward.

Ms. Teague thanked the board for all their work

**C. ADJOURN**

*The meeting was adjourned by Vice Chair Ginger Hain at 7:18 p.m.*

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Ginger Hain, Vice Chair

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Esther Coulter, Administrative Assistant



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Blake Yoder

## MINUTES OF THE TOWN OF WAYNESVILLE PLANNING BOARD Special Called Meeting Town Hall – 9 South Main St., Waynesville, NC 28786 Monday January 13th, 2025, 5:30 p.m.

THE WAYNESVILLE PLANNING BOARD held a Special Called Meeting on Monday January 13<sup>th</sup>, 2025, at 5:30 p.m. in the Board Room of the Town Hall at 9 South Main Street, Waynesville, NC 28786.

### A. CALL TO ORDER

#### 1. Welcome/Calendar/Announcements

The following members were present:

Ginger Hain (Vice Chair)  
Stuart Bass  
John Baus  
Travis Collins  
Tommy Thomas

The following board member was absent:

Susan Teas Smith (Chair)  
Michael Blackburn  
Jan Grossman  
Blake Yoder

The following attorney was present:

Ron Sneed, Board Attorney

The following staff members were present:

Elizabeth Teague, Development Service Director  
Alexander Mumby, Land Use Administrator

Planning Board Minutes  
Special Called Meeting  
January 13<sup>th</sup>, 2025

Olga Grooman, Assistant Development Service Director  
 Esther Coulter, Administrative Assistant

Vice Chair Ginger Hain welcomed everyone and called the meeting to order at 5:31 p.m.

Ms. Hain asked for a motion to approve the minutes and to amend the agenda in order to hold the first public hearing, but to then dismiss early due to a winter storm approaching Waynesville.

*A motion was made by Board member Stuart Bass, seconded by Board member Tommy Thomas, to approve the agenda change for just the minutes and the first public hearing to dismiss early due to a winter storm. The motion passed unanimously.*

*A motion was made by Board member Travis Collins, seconded by Board member Tommy Thomas to approve the minutes from October 21, 2024, meeting. The motion passed unanimously.*

*A motion was made by Board member John Baus, seconded by Board member Tommy Thomas to approve the minutes from November 18, 2024, meeting. The motion passed unanimously.*

Vice Chair Ginger Hain opened the public hearing at 5:36 p.m.

## **B. BUSINESS**

1. Public Hearing for a zoning map amendment to rezone 4 Elysinia Ave (PIN 8605-73-8236) from Hazelwood Urban Residential to Hazelwood Business District.

Land Use Administrator Alex Mumby read through his staff report for the zoning map amendment to rezone from Hazelwood Urban Residential, to Hazelwood Business District to allow more commercial uses to be placed on the property.

Mr. Mumby said that in the aftermath of hurricane Helene, Charlie's Corner and the bridge leading into Frog Level was shut down to all traffic indefinitely. The applicant would like to let Gaby's Food Truck to temporary change locations to 4 Elysinia Ave. Mr. Mumby explained that the current zoning does not allow food trucks.

In addition to the possibility of allowing a food truck on the site, the rezoning would enable new commercial uses allowed in business districts. He continued to explain that rezoning of the property would extend the Hazelwood Business District along Hazelwood Avenue and linking two commercial districts. Mr. Mumby added that any commercial development on the site would require the installation of a buffer along the boundary with adjacent residential zoning.

He also discussed consistency with the 2035 Comprehensive Plan. The Future Land Use Map indicates the lot as residential medium-high density, with mixed-use. The Plan's goals encourage infill and economic development.

Applicant John Burgin

Mr. Burgin stated that when the decision was made to close the bridge indefinitely, he offered the property to Gaby's food truck. Mr. Burgin stated that since food trucks were not allowed, he wanted to rezone the property to allow more business opportunities and thought it made sense to extend the commercial along the Main Street. He also indicated that the rezoning would still allow residential uses.

No Public Comment

Vice Chair Ginger Hain closed the public hearing at 5:53 p.m.

Ms. Hain read an email from Board member Jan Grossman; he was unable to attend the meeting.

It appears that once again we're dealing with rezoning of a single small parcel. In this case we're being asked to solve a temporary commercial problem [access to a food truck] with a permanent solution i.e. rezoning. I would suggest we consider the option of a temporary variance, like we did for dwellings while residents fix up their homes. Once the bridge is repaired, hopefully soon, the commercial issue disappears.

There was additional discussion related to the need to preserve residential property.

*A motion was made by Board member Stuart Bass, seconded by Board member Travis Collins to find the rezoning request as being consistent with the 2035 Land Use Plan and reasonable and in the public interest. Meeting Goals 1 and Goals 5 The motion was denied. 3 against 2 for the rezoning.*

*A motion was made by Vice Chair Ginger Hain, seconded by Board member Tommy Thomas to recommend the map amendment for denial by the Town Council. The motion passed 3 for and 2 against.*

2. Public Hearing related to general corrections of the Land Development Standards.

*A motion was made by Vice Chair Ginger Hain, seconded by Board member Tommy Thomas to continue the Public Hearing until February 17<sup>th</sup>, 2025, meeting. The motion passed Unanimously.*

3. Discussion of revised ordinance to regulate GMSP, solar arrays, and EV Chargers.  
Was continued to the next meeting on February 17, 2025

- 4. Discussion of new legislation and potential ordinance to create a new zoning category of Rural Preservation was also tabled to the next meeting.

**C. ADJOURN**

*The meeting was adjourned by Vice Chair Ginger Hain at 6:02 p.m.*

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Ginger Hain, Vice Chair

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Esther Coulter, Administrative Assistant

**DRAFT**



## Waynesville Town Council Votes on the Planning Board Items 2024-2025

### January 9, 2024

- Rezoning request for the portion of the property at 1460 Russ Avenue from Dellwood Residential Medium Density Mixed-Use Overlay (D-RM MXO) to Russ Avenue Regional Center District (RA-RC) district.

*The map amendment passed unanimously.*

### March 12, 2024

- The Town Council approved the Conditional District Rezoning for Biltmore Baptist Church with the following conditions:
  1. Comply with the façade standards and include architectural elements on the north and south side building elevations in accordance with Land Development Standards (LDS) section 5.10.
  2. Preserve existing street trees along Asheville Rd (LDS 8.4.1).
  3. Require 5-ft sidewalks along Asheville Rd and Ratcliff Cove Rd (LDS 6.6.2 B, D).
  4. Allow parking at the principal frontage, as proposed on the Master Plan (LDS 9.3).

The applicant submitted the Transportation Impact Analysis study at the hearing, and the Council accepted it with no further comments.

*The map amendment passed unanimously.*

### March 26, 2024

The Town Council approved the Conditional District Rezoning for the 10.99-acre portion of the unaddressed parcels at Waynesville Inn and Golf Club PIN 8614-27-1901 and PIN 8614-27-7912, Greenview Conditional District Map Amendment (Rezoning), with the following conditions attached:

1. Lot width standards for CC-RL shall not apply
2. LDS standards for the proposed "Lane" within the subdivision shall not apply (LDS 6.6.2. E)
3. At both hydrant locations, the proposed "Lane" needs to be at least 26 ft wide. The plan needs to be adjusted prior to issuance of the building permit to comply with Fire and Building Codes.
4. The developer will pay payment-in-lieu for sidewalk construction with the easement granted to the Town to construct a sidewalk in order to fill the existing gaps in the neighborhood, per staff recommendations, with priority along the northern part of Longview Drive.
5. Civic space requirements of the LDS Chapter 7 shall not apply as the project claims credit for the existing amenities. Access to existing civic space must be guaranteed for all the residents of the development.
6. Landscape requirements of the LDS Chapter 8 shall not apply as the project will propose custom landscaping plan
7. Minimum spacing requirements between the driveways in CC-RL of the LDS Chapter 9 shall not apply

*The map amendment passed unanimously.*

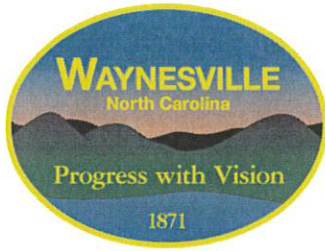
### May 14, 2024

1. The Council closed the public hearing on the Longview Conditional District Subdivision and directed the Town Attorney (Martha Bradley) and Development Services staff to negotiate some conditions of approval with the applicant to ensure better compliance with the LDS. The Council will vote on the application on May 28, 2024 with consideration of negotiated conditions.

<p>2. The Council continued the public hearing on general 160-D corrections and tree preservation until June 11<sup>th</sup>, 2024.</p>
<p><b>May 28, 2024</b></p> <p>1. The Council unanimously voted to deny the Longview Conditional District Map Amendment.</p>
<p><b>June 12, 2024</b></p> <p>1. Text amendment related to 160D corrections, definition of townhomes, elimination of protest petitions, and tree preservation.</p> <p><i>The text amendment passed unanimously.</i></p>
<p><b>June 25, 2024</b></p> <p>1. Railroad Overlay Map Amendment (RR-O) to the official Waynesville Land Development Map (a.k.a. zoning map). The overlay district is applied to 111 properties, with 81 of them being in the Frog Level area and 30 in Hazelwood.</p> <p><i>The map amendment passed unanimously.</i></p>
<p><b>August 13, 2024</b></p> <p>1. Zoning map amendment at 225 Church Street, Waynesville, NC 28786 (PIN 8615-27-0218) from Main Street Neighborhood Residential (MS-NR) to Main Street Neighborhood Residential Mixed-Use Overlay (MS-NR-MXO).</p> <p><i>The map amendment passed unanimously.</i></p>
<p><b>September 10, 2024</b></p> <p>1. The Council returned the text amendment on accessory dwellings and manufacturing housing to the Planning Board for further analysis of its potential impacts on properties.</p>
<p><b>November 12, 2024</b></p> <p>1. Text amendment related to accessory structures and manufactured housing, LDS sections 3.2.1, 3.2.6, 4.5, and 17.3.</p> <p><i>The text amendment passed unanimously.</i></p>
<p><b>December 10, 2024</b></p> <p>1. Text amendment to allow the use of temporary, alternative housing for victims of disaster, Land Development Standards (LDS) Sections 2.5.3, 4.6.4, and 17.3.</p> <p><i>The text amendment passed unanimously.</i></p> <p>2. Text amendments related to signage and addressing, LDS Sections 11.3, 11.5.7, and 11.7.1</p> <p><i>The text amendment passed unanimously.</i></p>

<p>3. A rezoning request from Pigeon Street Neighborhood Residential (PS-NR) to Ninevah Neighborhood Residential (N-NR) for a 0.61-acre property at 28 Addie Lane in Waynesville, NC (PIN 8615-42-0757).</p> <p><i>The map amendment passed unanimously.</i></p> <p>4. Text amendments to the Flood Damage Prevention Ordinance, LDS Sections 4.4.2, 12.3, and 17.5.</p> <p><i>The Council provided feedback and continued the hearing until January 14, 2025.</i></p>
<p><b>January 14, 2025</b></p> <p>1. Continuation of the public hearing: Text amendments to the Flood Damage Prevention Ordinance, LDS Sections 4.4.2 and 17.5.</p>
<p><b>February 11, 2025</b></p> <p>1. A rezoning request from Hazelwood Urban Residential (H-UR) to Hazelwood Business District (H-BD) for a 0.68-ac property at 4 Elysinia Avenue in Waynesville, NC (PIN 8605-73-8236).</p> <p><i>The map amendment passed unanimously.</i></p>

You can access previous minutes and agendas by visiting the following site: <http://www.egovlink.com/waynesville/>.



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### Development Services Department

9 South Main Street

Suite 110

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FOR PUBLICATION IN THE MOUNTAINEER: February 5th and February 12th (Wednesday) editions

Date: January 29<sup>th</sup>, 2025

Contact: Alex Mumby, (828) 452-0401

### **Notice of Public Hearings Town of Waynesville Planning Board**

The Town of Waynesville Planning Board will hold two public hearings on Monday, February 17th, 2025, at 5:30 pm, in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider:

1. A major site plan application located at 115 Rowdy Road, Waynesville, NC, 28786 (8626-22-6731). The site is the proposed location of the Raccoon Creek Bike Park.
2. A text amendment to the Land Development Standards (Sections 2.5.3, 4.5.3, 7.2.1, and 17.3) to allow for the use of ground mounted solar panels on private property and to add EV parking as an allowable use within civic space.

For more information contact the Development Services Department at: (828) 452-0401, email: [amumby@waynesvillenc.gov](mailto:amumby@waynesvillenc.gov) mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.

**Planning Board Staff Report**  
**Major Site Plan Review of Raccoon Creek Bike Park**  
**Administrative Site Plan**

**Meeting Date:** February 17, 2025  
**Subject:** Public hearing for a major site plan review  
**Project:** Raccoon Creek Bike Park  
**Location:** 115 Rowdy Rd, Waynesville, NC, 28786  
**Zoning District:** Raccoon Creek Neighborhood Residential (RC-NR)  
**Existing Conditions:** Graded bike track along edge of former land fill  
**Applicant:** Kris Boyd, Deputy County Manager  
**Property Owner:** Haywood County Government  
**Presenter:** Alex Mumby, Land Use Administrator

**Background:**

This is a Major Site Plan application for Raccoon Creek Bike Park. The subject property (PIN 8626-22-6731) is located partially within the Town of Waynesville ETJ and is zoned in the Raccoon Creek Neighborhood Residential zoning district. The lot is next to the former landfill at Farmview Drive and has frontage along Francis Farm Road. The site is 25.12 acres and sits mostly on flat area below the landfill site. The lot is not in the floodplain but has a creek, Ratcliffe Cove Branch, which runs along the northern property line.

The proposed project would consist of a BMX pump track, playground, a pavilion with restrooms and bike repair station, and a parking lot. Rowdy Road will serve as the access road from Farmview Drive to the parking lot. Because of topography, a bicycle and pedestrian access in the form of a greenway trail connection to Francis Farm Road is being requested instead of a sidewalk connection. The County has already begun grading and site preparation work.

A TRC meeting to discuss the project occurred last year and preliminary plans were submitted on January 8<sup>th</sup>, 2025. A second TRC meeting was held on January 21<sup>st</sup>, 2025, and the applicant submitted revised plans with the formal application on January 28<sup>th</sup>, 2025. The applicant submitted a Master Plan, Environmental Survey, and Building Elevations as part of their application. Staff provided notices of this public hearing in the Mountaineer Newspaper (02/05/2025 and 02/12/2025), by posting on the property (02/06/2025) and via first class mail to adjacent property owners within 100 feet (02/05/2025).

**Project Overview:**

Per LDS 15.8.2(A), all mixed-use or non-residential projects in Neighborhood Residential (NR) districts are considered major site plans. A major site plan review is an administrative procedure and the planning board is the *Administrator*. **An administrative decision** is a “decision made in the implementation, administration, or enforcement of development regulations that involve the **determination of facts**, and the **application of objective standards** set forth in Chapter 160D of the NC G.S. and the Town of Waynesville Code of Ordinances (LDS 17.4).

For the major site plan review, the Planning Board must find that each of the following facts to be true in order to approve, or approve with conditions, a major site plan (LDS 15.8.2):

1. The plan is consistent with the plans and policies of the town.
2. The plan complies with all applicable requirements of this ordinance.
3. The plan has infrastructure as required by the ordinance to support the plan as proposed.

The Raccoon Creek Bike Park proposes 6.451 acres of disturbed area on a 25.12 acre parcel. Recreational Facilities, Outdoor, are permitted with supplemental standards as a use in Raccoon Creek Neighborhood Residential (LDS 2.5.3). LDS 17.3 provides the following definition:

**“Recreation Facilities, Outdoor.** Parks and other open space used for active or passive recreation such as ball fields, batting cages, skateboard parks, playgrounds, greenway trails, driving ranges, tennis courts, and riding stables and their customary accessory uses including, but not limited to, maintenance sheds, food concessions, pools, restrooms, and picnic shelters. This definition is inclusive of both non-profit and for-profit operations.”

**Consistency with the 2035 Comprehensive Land Use Plan (LDS Chapter 1):**

The Future Land Use Map of the 2035 Comprehensive Land Use Plan designates this property as *Residential Low to Medium Density* for future development. “This designation should be located within the urban service boundary. Types of development recommended in the Future Land Use Map include:

- Single family uses at average densities of 3-4 units/acre, occasional small scale attached housing types; and
- Compatible development such as educational, civic, and faith-based uses, as well as parks, etc.” (2035 Comp Plan, p 26)

Because of the roadway and the fact that the property is adjacent to the former landfill, it is not likely to accommodate residential development of any density. However, as a regional park and recreational destination the proposed use is consistent with the plan.

The proposed project is consistent with the following Comprehensive Plan’s goals:

Goal 3: Protect and enhance Waynesville’s natural resources

- Encourage park and greenway development to protect watersheds and improve access to open space

Goal 5: Create opportunities for a sustainable economy

- Support the Town’s Parks and Recreation Master Plan and develop recreational facilities and a greenway system that appeals to neighborhood and regional users

Goal 6: Create an attractive and safe multimodal transportation system

- Ensure citizenry has access to recreational, health and wellness, and medical services.

**Purpose and Intent by Zoning District (LDS Chapter 2):**

The subject property is located within the Raccoon Creek Neighborhood Residential zoning district. The purpose and intent of this district states (LDS 2.3.3G):

“The **Raccoon Creek Neighborhood District (RC-NR)** is a medium density residential area surrounding one of the major entrances into Waynesville — Business 23. There are two centers for this area — the Ratcliff Cove Neighborhood Center and the Junaluska School/ballfield area within the district itself. Water service is available throughout much of the district with sewer available along Business 23 and Francis Farm Road. Higher density development is encouraged west of Business 23 with lower density clustered development proposed to the east. It is suggested that the County explore recreational uses on the landfill property on Francis Farm Road — an area that could become another focal point for the community. Development will occur at a residential scale. Development fronting onto Business 23 must form a street wall along this entryway into town.”

Recreational Facilities, Outdoor is a use permitted with additional standards within Raccoon Creek Neighborhood Residential and is consistent with the district’s purpose and intent. The development of the landfill site for recreational use is specifically called for within the district’s purpose and intent.

**Zoning Compliance:**

**1. District Provisions and Dimensional Requirements (LDS Chapters 2-4)**

LDS 2.4.1 Table of Dimensional Standards by Residential District:

- RC-NR requires a minimum pervious surface area of 10%. The site plan is compliant.
- RC-NR has the following setbacks: principal front and side (from adjacent properties) are 10 ft; streetside/secondary front is 5 ft; setbacks between the buildings and the rear are 6 ft. The site plan is compliant.

LDS 2.5.3 Table of Permitted Uses:

- Recreation Facilities, Outdoor is permitted with supplemental standards in RC-NR

LDS 3.6.2 Recreation Facilities, Outdoor

- **Screening:** Athletic Fields, common area recreation facilities, and similar facilities must be screened from adjoining residentially zoned property in accordance with Section 8.4.
- **Lighting:** Lighting shall be provided in accordance with Section 10.3.4.
- **Setback from homes:** Common area recreation facilities shall be buffered from dwelling units (both within and outside of the development) in accordance with Section 8.4).
- **Connectivity to surrounding neighborhoods:** Outdoor recreation facilities shall be connected to adjacent neighborhoods to the extent practical via street connections, driveways, and/or pedestrian/bicycle paths.

## 2. Infrastructure and Landscaping Standards (LDS Chapter 6-10):

### LDS 6.6.2 E. Lane:

- A lane is defined as a small travel way intended to provide direct access to the front of a limited number of residential structures and the number of lots served. Generally, they are very short; often less than 400 ft. Rowdy Rd is roughly 360 ft from the entrance off Farmview Drive to the beginning of the parking lot.
- Lanes require a 5 ft sidewalk on one side.
- Bicycle facilities: Normal Lane with integrated bicycle traffic or wide lane of 3-5 foot improved or striped shoulder.
- Alternative compliance is allowed where conditions such as topography or lot configurations make meeting the requirements for pedestrian access unreasonable or impractical. The slope of Farmview Drive and Rowdy Road make the construction of a sidewalk impractical. Additionally, a sidewalk along Rowdy Road would only extend to Farmview Drive where users would be required to walk in the street. Staff has asked for the future greenway path to be extended to Francis Farm Road and be designated as a right-of-way easement. This trail could also provide access to a picnic and walking area to increase use of the site.

### LDS 8.4 Buffer Yards:

- A buffer yard is not required when NR abuts NR

### LDS 8.5 Street Tree Plantings

- NR requires 1 Canopy tree for every 40 feet of street frontage. Rowdy Road is approximately 360 ft requiring 9 street tree plantings. Street tree plantings are proposed along the proposed future path of the greenway connection. These trees will be planted at the same time as the greenway is built.

### LDS 8.6 Parking Lot Landscaping

- 1 Tree is required for every 12 parking spaces. There are 70 parking spaces, which would require 6 trees. The applicant is proposing 17 trees which is compliant.
- No parking space may be more than 40 feet away from a tree. The site plan is compliant.

### LDS 8.8.2 Plant Standards

- Plant materials should be chosen from the list of native species maintained by the administrator. Red Maple and American Sycamore are both native.

### LDS 9.2.1 Parking Requirements by Use Table

- There are no auto parking space requirements for Outdoor Recreation. The site plan provides 70 parking spaces.
- One bike parking space is required for every 20 auto parking spaces, which would require 4 bike parking spaces. The plan is proposing 4 U-shaped bike racks.



#### LDS 9.4.2 Layout and Circulation

- Parking spaces must be 18 ft in length and 9 ft in width. The parking spaces are compliant.
- At the request of the Town's Fire Marshall, the parking area has been extended, and the end parking spaces have been striped for emergency vehicle turn-around.

#### LDS 9.4.6 Lighting

- Lighting of parking lots shall be in accordance with the Section 10.3, Lighting, Design Standards.

#### LDS 10.3 Design Standards

- The park is planned to only be operated during daytime hours and so no lighting plan is required

#### LDS 11 Signs

- The sign permit will be submitted at a future date and must comply with the district provisions.

### **3. Environmental Conservation Standards (LDS Chapter 12)**

The property is located on a mostly flat section of land at the base of the former county landfill. Ratcliffe Cove Branch runs along the northern property boundary.

- The in-situ soils within the project area are classified as hydrologic soils group B.
- Ratcliffe Cove Branch is a class B stream within the French Broad River basin.
- 25-foot setbacks are required from the top of the stream bank along all blue line streams.
- The property is not within the floodplain.
- The North Carolina Department of Environmental Quality (NCDEQ) has provided a letter stating that the cleanup efforts of the site are sufficient and that no further corrective action is necessary.
- Haywood County will continue to perform remedies including landfill gas mitigation, leachate recovery and monitoring natural attenuation.
- Stormwater drainage plan:
  - ✓ Stormwater runoff water will be captured in two bioretention cells
  - ✓ Each bioretention cell will utilize undrain systems for releasing the water quality design volume, and therefore not relying on the infiltration characteristics
  - ✓ Attenuation of storm events will be managed with an open throat out control structure

#### **Comment:**

Staff submits that:

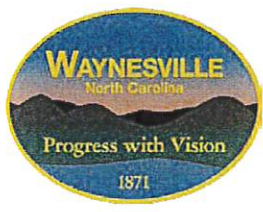
1. The proposed Major Site Plan is consistent with the 2035 Comprehensive Land Use Plan Goals 3, 5, and 6.
2. The master plan shows general compliance with the ordinance. The approval of the site plan does not exempt it from the requirements of the Building, Fire Codes, and any other laws, rules, and regulations.
3. The plan has the infrastructure as required by the ordinance to support the plan as proposed.

Staff recommends that the Board approves this application for the Major Site Plan with the following conditions:

1. A connector trail be included in the plan to allow cyclists and pedestrians to access the site from Francis Farm Road to the bike park. Should the County be unable to construct the trail at this time, staff recommends an easement be designated for future greenway development. This could be conveyed to the Town of Waynesville with approval of the Town Council if needed.

Attachments:

- Application materials: Application, site plan, building elevations, agent authorization forms, NCDEQ letter, environmental survey
  - Note: Due to its size, the summary of the environmental survey has been included in the agenda packet. The full survey is available for review in the Development Services Offices.)
- Property maps and images, zoning, topography, street view
- Public Notices



TOWN OF WAYNESVILLE
Development Services Department
9 South Main Street, Suite 110
Waynesville, NC 28786
Phone (828) 456-8647 • Fax (828) 452-1492
www.waynesvillenc.gov

APPLICATION FOR MAJOR SUBDIVISION OR SITE PLAN

DESCRIPTION OF PROPERTY

PROPERTY OWNER(S) OF RECORD: Haywood County

PARENT PARCEL IDENTIFICATION NUMBER(S): 8626-22-6731

PROPERTY LOCATION: Farmview Drive, Waynesville, NC / 115 Rowdy Road, Waynesville, NC

ZONING: RC-NR

LAND USE AT TIME OF APPLICATION: Residential - Low to Medium Density

APPLICANT (IF DIFFERENT FROM OWNER):
Note: Authorization to apply form must be submitted with the application if applicant is different from owner.

MAILING ADDRESS: 215 N Main Street, Waynesville, NC 28786

PHONE NUMBER: 828-452-6625

RELATIONSHIP TO PROPERTY OWNER: Owner

DESCRIPTION OF PROJECT

NUMBER OF ORIGINAL LOTS: N/A NUMBER OF PROPOSED LOTS: N/A

NUMBER OF UNITS/DENSITY: N/A

REGISTERED LAND SURVEYOR/DRAWING NUMBER: N/A

APPLICATION COMPLETENESS (See LDS Section 15.9):

Included ENVIRONMENTAL SURVEY

Included MASTER PLAN OR PRELIMINARY PLAT

See prior submittal OTHER INFORMATION / PROJECT DESCRIPTION (attach sheets as necessary):

SIGNATURE OF APPLICANT:

Handwritten signature: Kris R. Boyd for Haywood County

DATE: 1/23/25

Kris R. Boyd, Deputy County Manager is an equal opportunity provider

**AUTHORIZATION FOR AGENT TO  
APPEAR BEFORE WAYNESVILLE PLANNING BOARD,  
ZONING BOARD OF ADJUSTMENT, OR TOWN COUNCIL**

The undersigned Owner or Party with a contract or option to purchase that real property located at Farmview Drive, Waynesville, NC / 115 Rowdy Road, Waynesville, NC in Waynesville or the ETJ area of Waynesville, North Carolina, has submitted an application which is to be heard in a proceeding by Board(s) of the Town of Waynesville, North Carolina. I hereby authorize the following named individual to present my application and case, as my agent at such hearings.

Name of Authorized Agent: Mark Cathey, Scott Burwell, Khiya Armstrong

Title and Company: Engineer - McGill Associates

Address: 55 Broad Street, Asheville, NC 28801

Phone and email: 828.252.0575, khiya.armstrong@mcgillassociates.com

This authorization shall be good through the completion of the project for which the zoning text or map amendment, special use permit, subdivision, variance or appeal, or other Town approval is requested, or until revoked in writing. The Town of Waynesville may rely on this authorization until it is given notice of the revocation of this authorization or of a change of property ownership takes place.

This the 22<sup>nd</sup> day of January, 2025.

Owner or Party with Contractual Interest in Property:

Kris R. Boyd for Haywood County  
Kris R. Boyd, Deputy County Manager

Address and phone number:

Haywood County

215 N Main Street, Waynesville, NC 28786

828-452-6625



**TOWN OF WAYNESVILLE**  
 Development Services Department  
 PO Box 100  
 9 South Main Street, Suite 110  
 Waynesville, NC 28786  
 Phone (828) 456-8647 • Fax (828) 452-1492  
 www.waynesvillenc.gov

## Land Development Permit

*This form must be accompanied by a site plan, drawn to scale, showing all proposed development and additional information if required. For commercial or multi-family development, building elevations must also be submitted.*

Development Activity: Site development for a park

Property Location: Farmview Drive, Waynesville, NC PIN: 8626-22-6731

Zoning District: RC-NR Overlay District (If Applicable): N/A

Property Owner(s): Haywood County

Owner Mailing Address: 215 N Main Street, Waynesville, NC 28786 Telephone: 828-452-6625

Building Setbacks: Front 10 Street Side 5 Side 10 Rear 6 Other \_\_\_\_\_

Development Standards (Check all that apply):

- Is the building located inside a flood hazard area? (If yes, Floodplain Permit required)
- Is 1,000 square feet or greater being disturbed? (If yes, Local Grading Permit required)
- Is one acre or greater being disturbed? (If yes, NC Sed. and Erosion Permit required)
- Is one acre or more of impervious surface being added? (If yes, Stormwater Permit required)  
 (or if the project is <1 acre and creates at least 24,000 sq ft of impervious surface)
- Is a new driveway being created or an existing one altered? (If yes, Driveway Permit required)
- Is the building located at an elevation of 2,900 feet or more? (If yes, LDS Section 12.6 applies)
- Is project a structure within an Historic District, a Local Landmark, or on National Register?  
 (If yes, LDS Section 15.11 applies and a Certificate of Appropriateness may be required)
- Is project a Manufactured Home? (If yes, LDS Sections 3.2.6, 5.9 may apply)

Applicant Information (If other than owner) Name: Kris Boyd

Mailing Address: 215 N. Main St Waynesville NC Telephone: (828) 452-6625

### Office Use Only

This signature authorizes use the above property described for the land development activity described. Any deviation from the activity described above shall require resubmittal, approval, and issuance of a new Land Development Permit.

Development Services Staff Signature \_\_\_\_\_

Date \_\_\_\_\_

*This institution is an equal opportunity provider.*

# TOWN OF WAYNESVILLE DRIVEWAY PERMIT



www.waynesvillenc.gov

Development Services Department  
9 South Main Street, Suite 110  
Waynesville, NC 28786  
T: (828) 456-8647

Public Services Department  
129 Legion Drive  
Waynesville, NC 28786  
T: (828) 456-3706

**\$150  
permit fee  
applies**

**LOCATION OF PROPERTY:**

Building Permit # (if applicable) TBD

Address Farmview Drive, Waynesville, NC

PIN 8626-22-6731

**DEVELOPMENT TYPE:** Residential  Commercial  Industrial  Other

**ZONING DISTRICT:** RC-NR

**DRIVEWAY:** Proposed width 20 feet, connects to Farmview Drive  
Street Name

**AGREEMENT:**

I, the undersigned property owner or applicant on behalf of the named property owner, request permission to construct driveway(s) on public right-of-way at the above location(s) and agree to the following:

- Construct the driveway(s) in absolute conformance with current Town standards and approved plans
- Provide necessary sight distance easements if deemed necessary by the Town
- Promptly repair areas disturbed by construction in Town rights-of-way
- Provide and be responsible for work zone traffic control measures, flaggers, and other warning devices for the protection of traffic in and adjacent to a Town right-of-way
- Maintain driveway(s) in a manner so as not to interfere with or endanger public travel
- Indemnify and save harmless the Town of Waynesville from all damages and claims that may result from this construction
- No signs or objects will be placed on or over the public right of way other than those approved by the Town
- Notify the Town 24 hours in advance to beginning work

I understand that any permit issued based on this application becomes void if construction of the driveway(s) is not completed within one (1) year of the approval date shown on the permit.

Owner Haywood County

Applicant Same as owner

Address 215 N Main Street, Waynesville, NC 28786

Address \_\_\_\_\_

Phone 828-452-6625

Phone \_\_\_\_\_

Signature [Handwritten Signature]

Signature \_\_\_\_\_

Date 11-21-24

Date \_\_\_\_\_

**PROVIDE A SKETCH OF PROPOSED DRIVEWAY(S) OR ATTACH SITE PLAN OF DRIVEWAY LOCATION(S). CALL (828) 456-3706 FOR ADDITIONAL INFORMATION.**

**CALL (828) 456-8647 TO SCHEDULE AN INSPECTION BEFORE AND AFTER POURING THE DRIVEWAY**

Permit issued on (date) \_\_\_\_\_

Approved by (Public Services Official) \_\_\_\_\_



January 8, 2025

Members of the Technical Review Committee  
 Development Services  
 9 South Main Street, Suite 110  
 Waynesville, North Carolina 28786

RE: Site Development Permit Submittal  
 Raccoon Creek Bike Park

Dear Members of the Technical Review Committee:

On behalf of Haywood County, McGill Associates is pleased to provide this Site Development Permit Submittal for the above-mentioned project. Please see the project description, site development notes, and permit submittal information below for your review and approval. We appreciate your time and consideration for this project.

### Project Description

The Haywood County Recreation Department intends to develop a bike park and playground on a parcel of land adjacent to the Francis Farm Landfill. The parcel is identified by the parcel identification number (PIN) 8626-22-6731 and is within the Town of Waynesville's Extra Territorial Jurisdiction.

The Raccoon Creek Bike Park project includes the construction of an access drive, parking lot, sidewalks, a playground area, a bike pump track and skills course, a walking path, and a pavilion structure with restrooms. This project is being conducted in a phased approach. The initial phase consisted of mass grading to prepare the site for construction and establish positive drainage, grading and stone placement for the access drive and parking lot, and construction of the sidewalks adjacent to the parking lot, initial stormwater conveyance to temporary sediment basins, and bike pump track and skills course. As part of the first phase, Haywood County submitted documentation to the North Carolina Department of Environmental Quality (NCDEQ) and obtained an Erosion Control Permit (HAYWO-2024-0100) for the Francis Farm Landfill – Drainage Improvements. The second phase of the project involves constructing the pavilion building, additional sidewalks, the walking path, and the playground.

### Site Development Notes

McGill Associates has prepared the site development plans based on our interpretation of the Town of Waynesville's Land Development Standards (LDS) and preliminary meetings and coordination with members of the Technical Review Committee. Additional information is provided below to supplement the site development plans and expand on specific topics.



### Existing Conditions and Natural Features

The property, originally purchased to buffer the closed landfill, has been maintained in compliance with NCDEQ Solid Waste regulations and improved for environmental mitigation over 13 years. Currently open space, it serves as a recreational facility and conservation area, providing habitat for local flora and fauna in Haywood County's mountainous region. The vegetation includes open fields of mixed grasses and woodlands of hardwoods and pines. The site's gently rolling topography (slopes 2-15%) makes it suitable for the proposed Raccoon Creek Bike Park. Although wetlands exist on the property, none are within the site boundary and proposed limits of disturbance. Hydrological features include a creek, Ratcliffe Cove Branch, which runs along the north and east boundaries.

### Local Connectivity and Transportation Considerations

The proposed Raccoon Creek Bike Park aims to offer outdoor recreational facilities to the community, with key attractions such as a pump track and skills course designed for mountain biking enthusiasts. Most visitors are expected to arrive by motor vehicle, though some may choose to walk or bike. The park is anticipated to generate fewer than 500 daily trips, with no more than 50 trips during peak hours. While the County explored the option of adding a bike lane from Asheville Road to the park via Francis Farm Road and Farmview Drive, this is not feasible due to the need for easement agreements and coordination with the DOT to expand the roadway. Additionally, a "Sharrow" cannot be included within the scope of this project, as modifications to state-maintained roads fall outside the County's authority.

### Site Development Permit Submittal Information

The following documents are enclosed in this submittal package for your review and approval:

1. One (1) PDF copy of the civil plan set dated January 8, 2025.
2. Three (3) paper copies of the civil plan set dated January 8, 2025.
3. One (1) PDF copy of the Stormwater Management Plan for the Raccoon Creek Bike Park dated December 16, 2024.
4. One (1) PDF copy of the Land Development Permit Application Form.
5. One (1) PDF copy of the Stormwater Permit Application Form.
6. One (1) PDF copy of the Driveway Permit Application Form.
7. One (1) PDF copy of the Certificate of Plan Approval dated January 17, 2024, from NCDEQ and corresponding plan set dated February 6, 2024.





Upcoming Permit Applications and Submittals

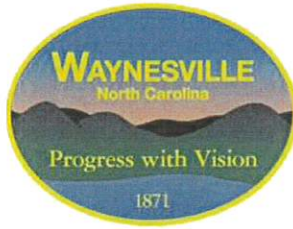
1. Sign Permit Application.
2. Amendment Submittal to NCDEQ for modified Limits of Disturbance and subsequent Certificate of Plan Approval.
3. Commercial Building Permit Application with Architectural Plans, Structural Plans, and MEP Plans.

Please contact us at your earliest convenience with any questions or comments regarding this submittal, either by phone at (828) 252-0575 or via email at [khiya.armstrong@mcgillassociates.com](mailto:khiya.armstrong@mcgillassociates.com). We appreciate your attention to this project.

Sincerely,  
McGILL ASSOCIATES, P.A.

A handwritten signature in cursive script that reads "Khiya Armstrong".

KHIYA ARMSTRONG, PE  
Project Engineer



Town of Waynesville

# Stormwater Permit

Development Services  
 9 South Main Street, Suite 110  
 Waynesville, NC 28786  
 T: (828) 456-8647 | Fax: (828) 452-1492  
[www.waynesvillenc.gov](http://www.waynesvillenc.gov)

Issue Date: \_\_\_\_\_

Permit becomes void if there are changes to the approved stormwater plan or calculations.

## Owner Information

<b>OWNER:</b> Haywood County
<b>ADDRESS:</b> 215 N Main Street
<b>CITY, STATE, ZIP CODE:</b> Waynesville, NC 28786
<b>TELEPHONE #:</b> 828-452-6625
<b>EMERGENCY TELEPHONE #:</b>
<b>EMAIL:</b> Kris.Boyd@haywoodcountync.gov

## Developer/Financially Responsible Person

<b>CONTRACTOR/DEVELOPER:</b> Haywood County
<b>ADDRESS:</b> 215 N Main Street
<b>CITY, STATE, ZIP CODE:</b> Waynesville, NC 28786
<b>TELEPHONE #:</b> 828-452-6625
<b>EMERGENCY TELEPHONE #:</b>
<b>EMAIL:</b> Kris.Boyd@haywoodcountync.gov

## Project Overview

<b>PROJECT NAME:</b> Raccoon Creek Bike Park	
<b>PROJECT ADDRESS:</b> Farmview Drive, Waynesville, NC	
<b>DESCRIPTION OF PROJECT:</b> Develop a portion of the landfill property into a park with a pavilion, playground, and bike track skills course.	
<b>ACREAGE OF THE SITE (TOTAL ACREAGE OF ALL PARCELS):</b> 25.11 AC	<b>NET INCREASED IMPERVIOUS SURFACE ON COMPLETION (SQ FT):</b> 1.57 AC

## Permit Checklist (COMPLETED BY STAFF)

- Fee Paid (attach receipt)
- Stormwater System Management Plan
- Stormwater Report/Calculations
- Other Documents: \_\_\_\_\_
- Town Stormwater Review by the Engineer Completed

**STORMWATER MANAGEMENT NARRATIVE**

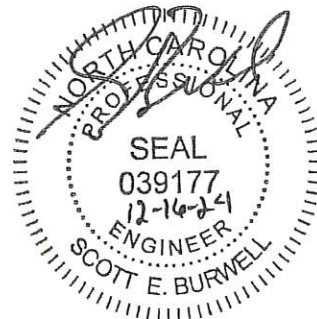
**RACoon CREEK BIKE PARK**

**FARMVIEW DRIVE  
WAYNESVILLE, NORTH CAROLINA**

**Scott Burwell, PE**  
NC Professional Engineer No. 039177



55 Broad Street  
Asheville, NC 28801  
828.252.0575  
NC Firm License #C-0459



**DECEMBER 2024**

**PROJECT NO. 23.00129**



STORMWATER MANAGEMENT PLAN  
RACoon CREEK BIKE PARK  
PREPARED FOR THE TOWN OF WAYNESVILLE, NORTH CAROLINA

TABLE OF CONTENTS

PROJECT DESCRIPTION.....2  
EXISTING SITE CONDITIONS.....2  
STORMWATER MANAGEMENT PLAN.....3  
SEDIMENT AND EROSION CONTROL PLAN.....3

APPENDICES

- APPENDIX A – DRAINAGE AREA MAPS
- APPENDIX B – DRAINAGE AREA CALCULATIONS
- APPENDIX C – WATER QUALITY CALCULATIONS
- APPENDIX D – STORMWATER PIPE CONVEYANCE CALCULATIONS
- APPENDIX E – STORMWATER DITCH SIZING CALCULATIONS
- APPENDIX F – OUTLET PROTECTION SIZING CALCULATIONS
- APPENDIX G – HYDROCAD MODELING REPORTS
- APPENDIX H – NOAA PRECIPITATION DATA
- APPENDIX I – FEMA FLOOD MAP
- APPENDIX J – NRCS SOILS DATA

Stormwater Management Narrative  
Raccoon Creek Bike Park  
December 2024

### Project Description

The Haywood County Recreation Department intends to develop a parcel of land for the purposes of a bike park and playground. The Raccoon Creek Bike Park project includes the construction of an access drive, parking lot, sidewalks, a playground area, a bike pump track and combined skills course, a walking path, and a pavilion structure with restrooms.

This project is being conducted in a phased approach. The initial phase consisted of mass grading to prepare the site for construction and establish positive drainage, grading and stone placement for the access drive and parking lot, and construction of the sidewalks adjacent to the parking lot, initial stormwater conveyance to temporary sediment basins, and bike pump track and skills course. As part of the first phase, Haywood County submitted documentation to the North Carolina Department of Environmental Quality (NCDEQ) and obtained an Erosion Control Permit (HAYWO-2024-0100) for the Francis Farm Landfill – Drainage Improvements. The second phase of the project involves constructing the pavilion building, additional sidewalks, the walking path, and the playground.

The following density calculations are based on the condition of the site prior to any of the current construction activity.

Table 1: Project Density Calculation

Parcel Area	25.11	ac
Existing Built-Upon Area	0.92	ac
Proposed Total Built-Upon Area	2.49	ac
Net Increase to Built-Upon Area	1.57	ac
<b>Parcel Density (%BUA)</b>	<b>6.25</b>	<b>%</b>

See Appendix B – Drainage Area Calculations for more information.

### Existing Site Conditions

The subject parcel is within the jurisdictional limits of the Town of Waynesville, with a parcel identification number (PIN) 8626-22-6731. The project site is adjacent to the County landfill, located at 401 Farmview Dr, Waynesville, NC. The site is bordered by Farmview Dr and Francis Farm Rd on the south and west, and Ratcliffe Cove Branch along the north and east.

The subject parcel is currently an undeveloped, open grassed lot with generally gentle slopes. There are existing dirt and gravel drives located on the subject parcel. The NRCS Web Soil Survey Map indicates that the in-situ soils within the project area are classified as hydrologic soils group B.

Per the NCDEQ Surface Water Classifications website, Ratcliffe Cove Branch (stream index 5-16-14-1) is a class B stream within the French Broad River basin. Per FEMA FIRM Panel Map 3700861600J (4/3/2012), the subject parcel is not located within a flood hazard area.

Stormwater Management Plan

The stormwater management plan has been designed in accordance with the NCDEQ Stormwater Design Manual as well as the Town of Waynesville Stormwater Ordinance. Stormwater runoff from impervious areas will be captured and conveyed to two (2) bioretention cells by means of stormwater piping and ditching. The stormwater conveyance infrastructure has been designed to convey the 25-year storm event.

The bioretention cells (SCM A and SCM B) have been designed per the NCDEQ stormwater design manual and meet the Town of Waynesville’s ordinance for stormwater treatment and peak flow rate attenuation. Each bioretention cell has been sized to treat the required water volume as well as to attenuate the required storm events. Each bioretention cell will utilize undrain systems for releasing the water quality design volume, and are therefore not relying on the infiltration characteristics of the in-situ soils. Attenuation of storm events will be managed with an open throat outlet control structure.

Please see the following tables for summaries of the water quality and peak flow rate attenuation for this project:

Table 2: Water Quality Treatment Summary

SCM ID	Required Treatment Volume (cf)	Provided Treatment Volume (cf)
SCM A	3,910	5,339
SCM B	3,312	4,411

See Appendix G - HydroCAD Report for more information.

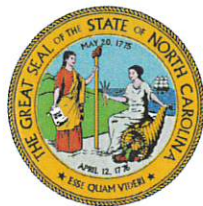
Table 3: Peak Flow Rate Attenuation Summary (Total Parcel)

Storm Event	Pre-Development Peak Flow Rate (cfs)	Post-Development Peak Flow Rate (cfs)
1-Year	6.81	1.92
2-Year	11.12	3.65
10-Year	23.70	8.67
25- Year	39.28	22.52
50 - Year	32.17	36.45

See Appendix G - HydroCAD Report for more information.

Sediment and Erosion Control Plan

This project has a current and active Erosion Control Permit (HAYWO-2024-0100). The previously approved sediment and erosion control measures will be maintained throughout this project. The measures include temporary drainage ditches, silt fencing, and temporary sediment basins.



NORTH CAROLINA  
*Environmental Quality*

ROY COOPER  
*Governor*  
ELIZABETH S. BISER  
*Secretary*  
MICHAEL SCOTT  
*Director*

September 10, 2021

Sent Via Email – [david.francis@hawoodcountync.gov](mailto:david.francis@hawoodcountync.gov)

Mr. David B. Francis  
Program Administrator  
Haywood County Solid Waste Management Department  
157 Paragon Parkway, Suite 200  
Clyde, NC 28721

Re: Response to Notice of Completion of Remedy  
Restrictive Cover Improvements  
Francis Farm Closed MSW Landfill  
Haywood County  
4403-MSWLF-1982  
FID 1609163

Dear Mr. Francis:

The Solid Waste Section (Section) has reviewed the *Construction Quality Assurance (CQA) Report – Restrictive Cover Construction* (FID 1596409) submitted on your behalf by Bunnell Lammons Engineering on August 16, 2021, as part of the ongoing corrective action at the Francis Farm Landfill. The Section found the report to be sufficient and thus this portion of the corrective action is complete. However, the facility shall still perform routine inspections and maintenance activities on the newly constructed restrictive cover.

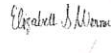
Per the approved *Revised Corrective Action Plan* (FID 1406387) dated May 19, 2021, the facility shall implement the remaining remedies outlined in the plan which include landfill gas mitigation, leachate recovery and monitored natural attenuation. Upon completion of each remedy, the facility shall submit verification to the Section.

If you have any questions, please do not hesitate to contact me via email [elizabeth.werner@ncdenr.gov](mailto:elizabeth.werner@ncdenr.gov) or phone (919) 707-8253.



North Carolina Department of Environmental Quality | Division of Waste Management  
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646  
919.707.8200

Sincerely,

 Digitally signed  
by Elizabeth S.  
Werner  
Date: 2021.09.10  
16:12:05 -04'00'

Elizabeth S. Werner  
Hydrogeologist  
Solid Waste Section

Ec: Andy Alexander, P.G. – Bunnell-Lammons  
Mark Cathey, P.E. – McGill Associates  
Allen Gaither, P.E. – SWS, Permitting Engineer  
Lee Hill – SWS, Environmental Specialist  
Adam Ulishney – SWS, Environmental Compliance Branch Head  
Deb Aja – SWS, Field Operations Western Supervisor  
Jason Watkins – SWS, Field Operations Branch Head

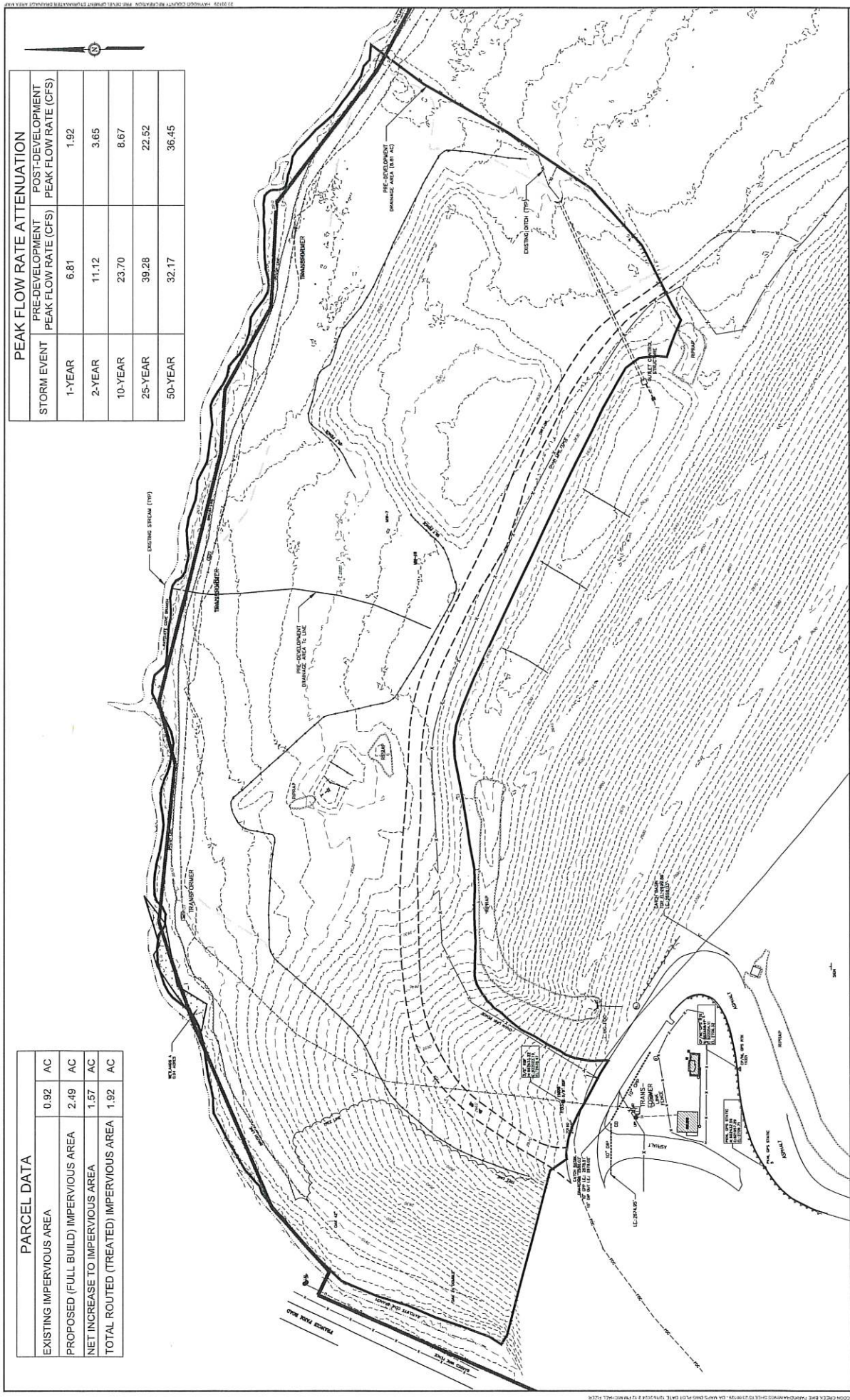


North Carolina Department of Environmental Quality | Division of Waste Management  
217 West Jones Street | 1646 Mail Service Center | Raleigh, North Carolina 27699-1646  
919.707.8200



# **Appendix A**

## **Drainage Area Maps**




**PARCEL DATA**

EXISTING IMPERVIOUS AREA	0.92	AC
PROPOSED (FULL BUILD) IMPERVIOUS AREA	2.49	AC
NET INCREASE TO IMPERVIOUS AREA	1.57	AC
TOTAL ROUTED (TREATED) IMPERVIOUS AREA	1.92	AC

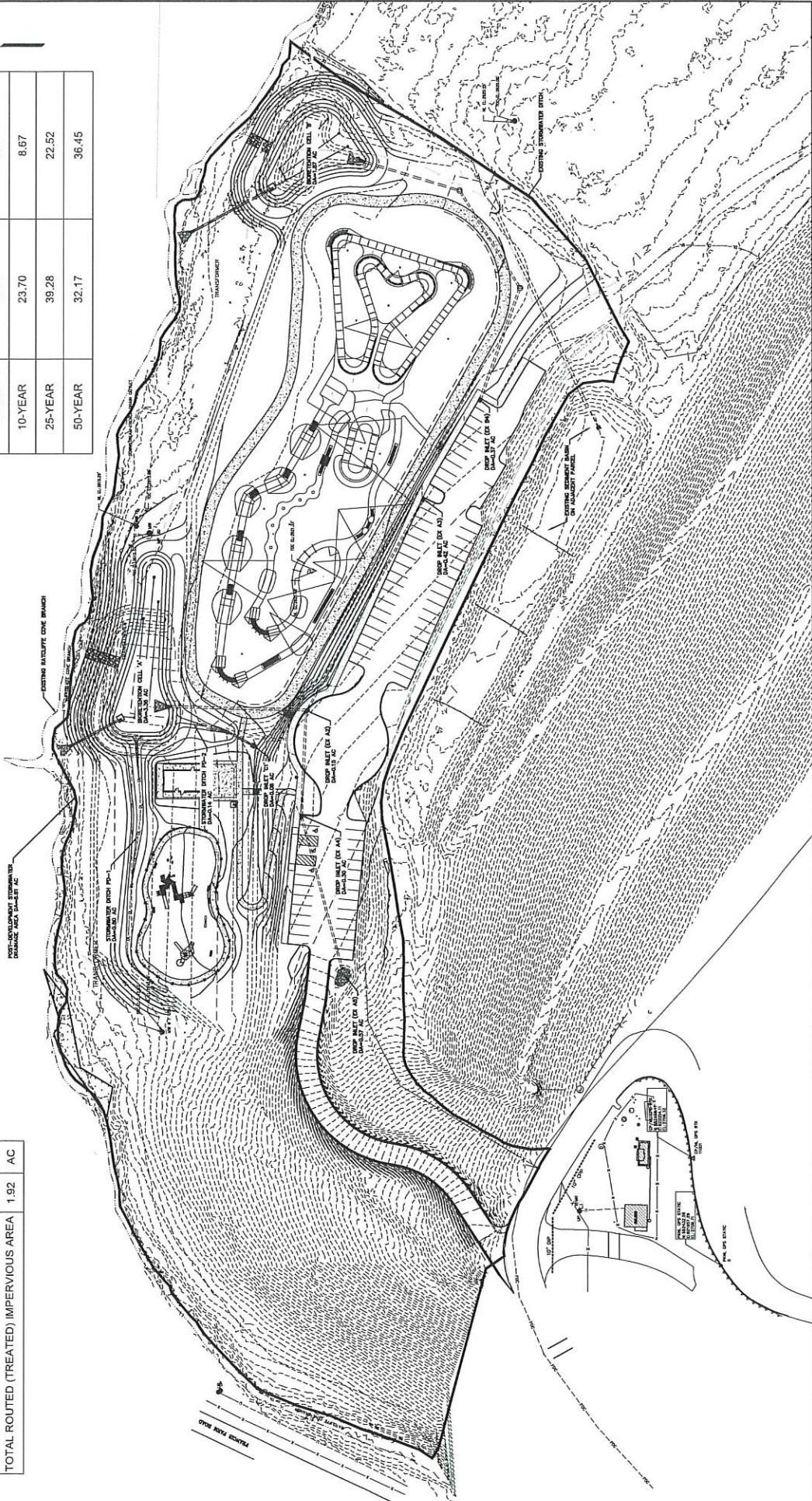
**PEAK FLOW RATE ATTENUATION**


STORM EVENT	PRE-DEVELOPMENT PEAK FLOW RATE (CFS)	POST-DEVELOPMENT PEAK FLOW RATE (CFS)
1-YEAR	6.81	1.92
2-YEAR	11.12	3.65
10-YEAR	23.70	8.67
25-YEAR	39.28	22.52
50-YEAR	32.17	36.45

 <p>30 Broad Street                  Raleigh, NC 27601                  919.252.6575                  NC Firm License # C30858                  mcgillassociates.com</p>	NO. DATE BY	RACCOON CREEK BIKE PARK <b>HAYWOOD COUNTY RECREATION</b> HAYWOOD COUNTY, NORTH CAROLINA	OFFICE MANAGER M. CATHEY	PROJECT MANAGER S. BURWELL	DESIGNER J. HOWARD	CHECKER K. ARMSTRONG	DATE DECEMBER 2024	PROJECT # 23.00179	SHEET <b>DA.1</b>
	PRE-DEVELOPMENT STORMWATER DRAINAGE AREA MAP		SCALE: 1" = 40'	PROJECT NAME: RACCOON CREEK BIKE PARK		PROJECT NUMBER: 23.00179		DATE: DECEMBER 2024	

PARCEL DATA	
EXISTING IMPERVIOUS AREA	0.92 AC
PROPOSED (FULL BUILD) IMPERVIOUS AREA	2.49 AC
NET INCREASE TO IMPERVIOUS AREA	1.57 AC
TOTAL ROUTED (TREATED) IMPERVIOUS AREA	1.92 AC

PEAK FLOW RATE ATTENUATION		
STORM EVENT	PRE-DEVELOPMENT PEAK FLOW RATE (CFS)	POST-DEVELOPMENT PEAK FLOW RATE (CFS)
1-YEAR	6.81	1.92
2-YEAR	11.12	3.65
10-YEAR	23.70	8.67
25-YEAR	39.28	22.52
50-YEAR	32.17	36.45



 <p>100 S. Bismarck Street Raleigh, NC 27603 919.873.2622 www.mcgillinc.com</p>	<p><b>HAYWOOD COUNTY RECREATION</b> HAYWOOD COUNTY, NORTH CAROLINA</p>	<p><b>RACCOON CREEK BIKE PARK</b> <b>HAYWOOD COUNTY RECREATION</b> HAYWOOD COUNTY, NORTH CAROLINA</p>	<p><b>POST-DEVELOPMENT STORMWATER DRAINAGE AREA MAP</b></p>	<p><b>SHEET DA.2</b></p>
<p>DATE: DECEMBER 2024 PROJECT MANAGER: S. BURWELL DESIGNER: J. HOWARD CHECKER: M. CANNON SCALE: AS SHOWN</p>	<p>DATE: DECEMBER 2024 PROJECT MANAGER: K. ARMSTRONG DESIGNER: J. HOWARD CHECKER: M. CANNON SCALE: AS SHOWN</p>	<p>DATE: DECEMBER 2024 PROJECT MANAGER: K. ARMSTRONG DESIGNER: J. HOWARD CHECKER: M. CANNON SCALE: AS SHOWN</p>	<p>DATE: DECEMBER 2024 PROJECT MANAGER: K. ARMSTRONG DESIGNER: J. HOWARD CHECKER: M. CANNON SCALE: AS SHOWN</p>	<p>DATE: DECEMBER 2024 PROJECT MANAGER: K. ARMSTRONG DESIGNER: J. HOWARD CHECKER: M. CANNON SCALE: AS SHOWN</p>

# RACCOON CREEK BIKE PARK

# HAYWOOD COUNTY RECREATION

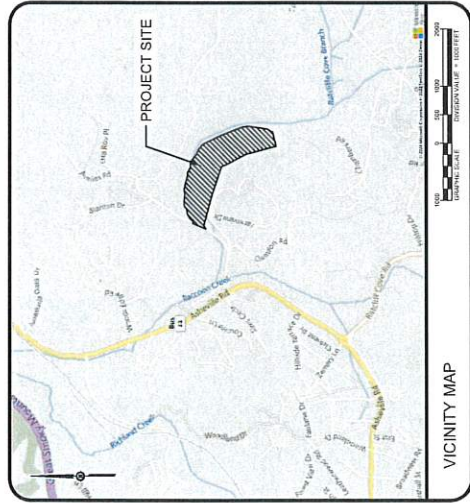
---

## HAYWOOD COUNTY, NORTH CAROLINA

**PROJECT ADDRESS**  
115 ROWDY ROAD  
WAYNESVILLE, NC 28786

**PROJECT ENGINEER**  
SCOTT BURWELL, PE  
55 BROAD STREET  
ASHEVILLE, NC 28801  
828.252.0575

**PROPERTY OWNER**  
HAYWOOD COUNTY RECREATION  
215 NORTH MAIN STREET  
WAYNESVILLE, NC 28786  
(828) 356-2145  
Kris.Boyle@haywoodcountync.gov



### SCHEDULE OF DRAWINGS

- G-000 ..... COVER SHEET
- G-001 ..... GENERAL NOTES
- G-002 ..... GENERAL NOTES
- G-003 ..... GENERAL NOTES
- CE-001 ..... EXISTING CONDITIONS
- C-100 ..... SITE LAYOUT
- C-200 ..... GRADING PLAN
- C-201 ..... STORM DRAINAGE PLAN
- C-202 ..... STORMWATER SCM 'A' PLANS & DETAILS
- C-203 ..... STORMWATER SCM 'B' PLANS & DETAILS
- C-250 ..... EROSION CONTROL PLAN UPDATES
- C-400 ..... LANDSCAPING PLAN
- C-500 ..... MISCELLANEOUS DETAILS
- C-501 ..... MISCELLANEOUS DETAILS
- C-502 ..... MISCELLANEOUS DETAILS
- C-503 ..... MISCELLANEOUS DETAILS
- C-504 ..... MISCELLANEOUS DETAILS

### REVISION BLOCK

NO.	DATE	BY	DESCRIPTION
1	1-28-25	PK	ADDRESSED COMMENTS FROM THE TOWN OF WAYNESVILLE

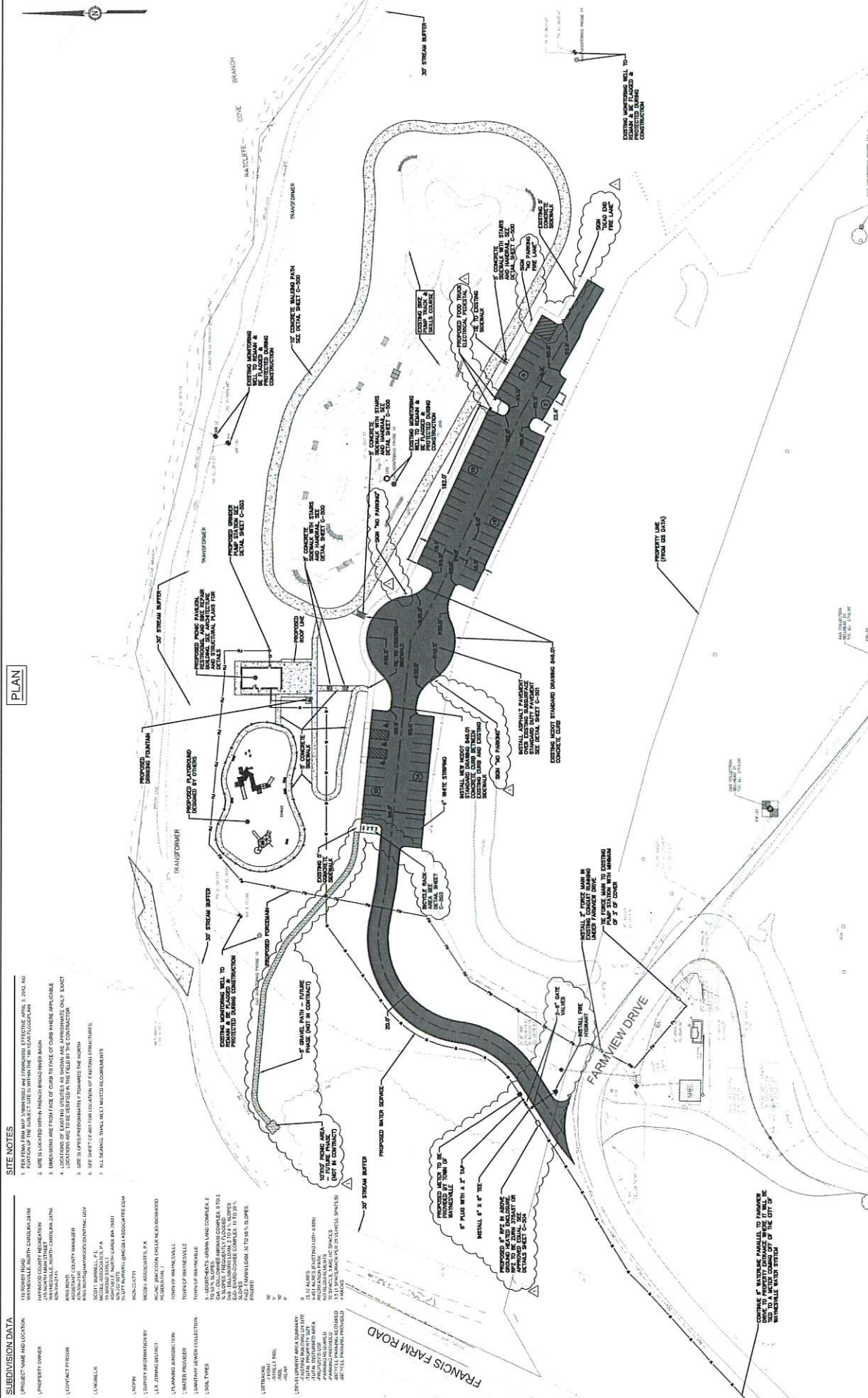


55 Broad Street  
Asheville, NC 28801  
828.252.0575  
NC Firm License # C-0459  
mcgillassociates.com



JANUARY 2025

23.00129 02/23/2025 10:52:47 AM PROJECT: 23.00129 SHEET: C-100



PLAN

- SUBDIVISION DATA**
- 1. SUBDIVISION NAME: RACCOON CREEK BIKE PARK
  - 2. PROJECT NUMBER: 23.00129
  - 3. SHEET TITLE: SITE LAYOUT
  - 4. SCALE: AS SHOWN
  - 5. DATE: JANUARY 2025
  - 6. DESIGNER: MCGILL ASSOCIATES, P.A.
  - 7. CLIENT: RACCOON CREEK BIKE PARK
  - 8. PROJECT ADDRESS: 1000 RACCOON CREEK DRIVE, WAINWALLE, NC 27088

- SITE NOTES**
1. REFER TO SHEETS C-100 THROUGH C-103 FOR COMPLETE SITE LAYOUT.
  2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2024 NC DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
  3. CONSTRUCTION SHALL BE COMPLETED WITHIN THE 12-MONTH PERIOD STARTING FROM THE DATE OF COMMENCEMENT OF WORK.
  4. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
  5. THE BOUNDARY BETWEEN THE BIKEWAY AND THE BIKEWAY SHALL BE AS SHOWN ON THIS SHEET.
  6. THE BIKEWAY SHALL BE CONSTRUCTED WITH A MINIMUM WIDTH OF 10 FEET.
  7. ALL DIMENSIONS UNLESS OTHERWISE NOTED.

SHEET  
**C-100**

**SITE LAYOUT**

---

**HAYWOOD COUNTY RECREATION**  
HAYWOOD COUNTY, NORTH CAROLINA

---

RACCOON CREEK BIKE PARK

---

DATE: JANUARY 2025 PROJECT: 23.00129

---

DESIGNED BY: J. HOWARD	CHECKED BY: S. BURWELL	PROJECT MANAGER: K. ARMSTRONG
DATE: JANUARY 2025	PROJECT: 23.00129	DATE: JANUARY 2025

---

SCALE: 1" = 40' (AS SHOWN)

---

DATE: JANUARY 2025

**mcgill**  
 35 Bogue Street  
 Raleigh, NC 27601  
 919.252.5575  
 mcgillassociates.com

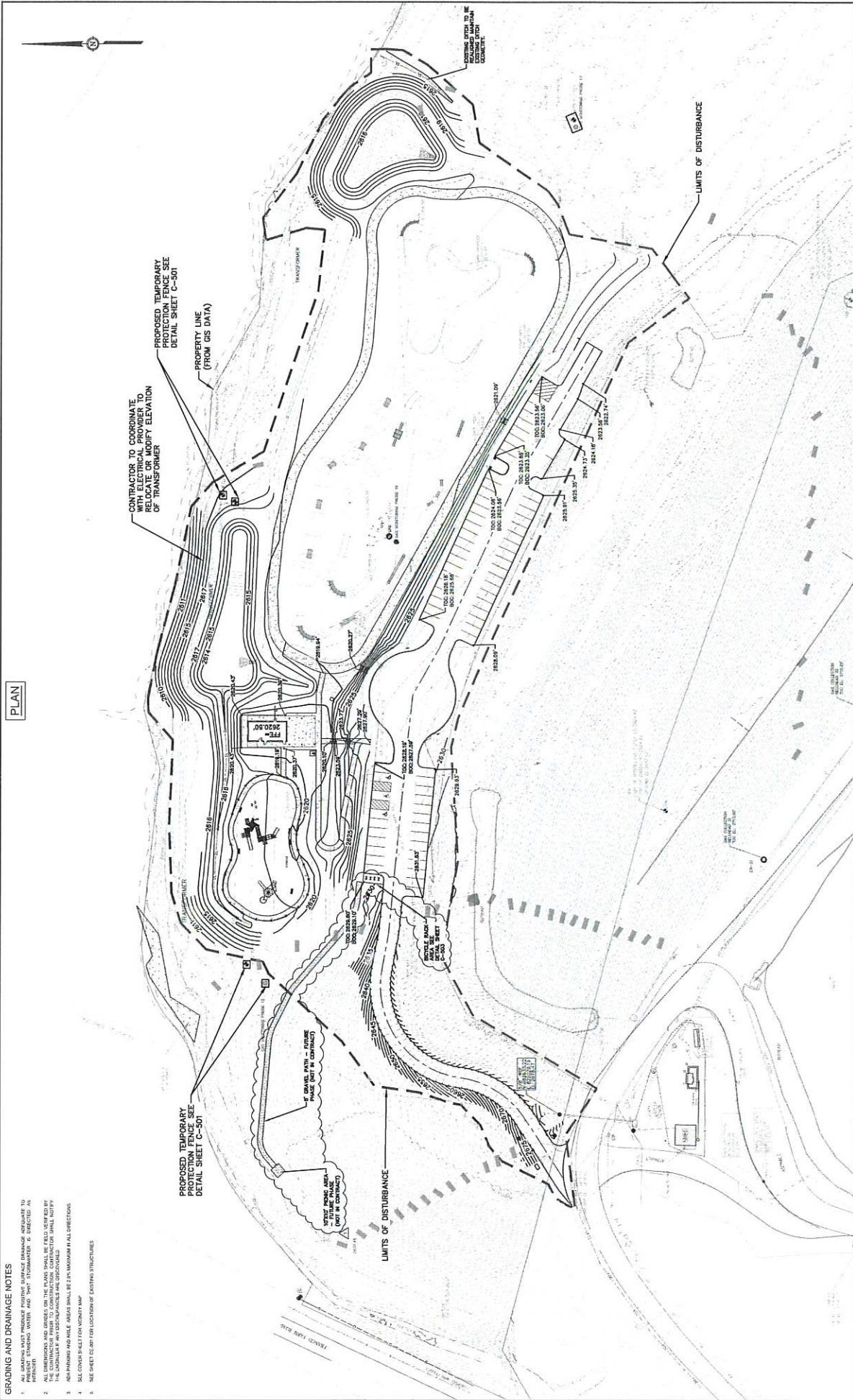
FOR REVIEW ONLY

23.00129 HAYWOOD COUNTY RECREATION GRADING PLAN

PLAN

GRADING AND DRAINAGE NOTES

1. ALL EXISTING AND PROPOSED GRADING IS SUBJECT TO PRESENT STANDING WATER AND 100-YR STORMWATER IS DIRECTED AS SHOWN.
2. CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED.
3. ALL FINISH AND PAVE AREAS SHALL BE IN ACCORDANCE WITH ALL DIRECTIONS.
4. SEE CONCEPT PLAN FOR EXISTING MAP.
5. SEE SHEET C-200 FOR LOCATIONS OF EXISTING STRUCTURES.



CONTRACTOR TO COORDINATE WITH ELECTRICAL PROVIDER TO VERIFY PROPOSED TEMPORARY PROTECTION FENCE SEE DETAIL SHEET C-501

PROPERTY LINE (FROM GIS DATA)

PROPOSED TEMPORARY PROTECTION FENCE SEE DETAIL SHEET C-501

GRAVEL PATH - FUTURE PHASE (NOT IN CONTRACT)

LIMITS OF DISTURBANCE

LIMITS OF DISTURBANCE



**RACCOON CREEK BIKE PARK**  
**HAYWOOD COUNTY RECREATION**  
 HAYWOOD COUNTY, NORTH CAROLINA

NO.	DATE	BY	DESCRIPTION
1	1/24/23	SK	ADDRESSED COMMENTS FROM THE BOARD OF HAYWOOD COUNTY
2			
3			
4			



**mcgill**  
 65 Breeze Street  
 Raleigh, NC 27601  
 (919) 282-2275  
 LLC Firm License # C-0458  
 mcgillassociates.com

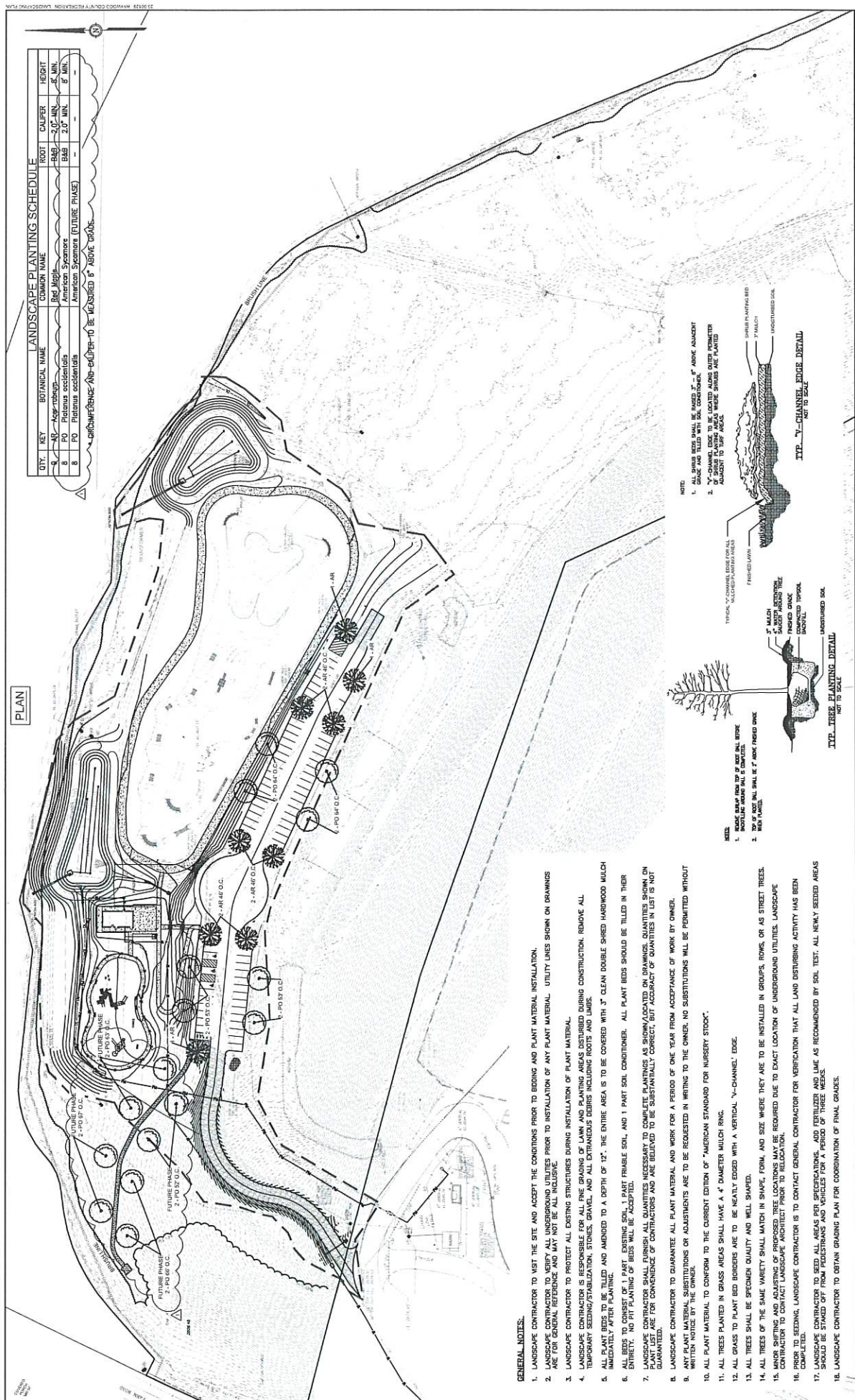
**GRADING PLAN**

DESIGNED BY: S. BURWELL  
 CHECKED BY: S. BURWELL  
 PROJECT # 23.00129

DATE: JANUARY 2025

**SHEET C-200**

PROJECT # 23.00129



**LANDSCAPE PLANTING SCHEDULE**

QTY.	KEY	BOTANICAL NAME	COMMON NAME	ROOT	CAULIPER	HEIGHT
8	AR	Asar thibetana	Red Maple	BAG	2.0' MIN.	8' MIN.
9	PO	Platanus occidentalis	American Sycamore	BAG	2.0' MIN.	8' MIN.
8	PR	Prunus pennsylvanica	American Black Cherry	BAG	2.0' MIN.	8' MIN.

PLANTING REFERENCE AND EXPLANATION TO BE PROVIDED BY ARCHITECT

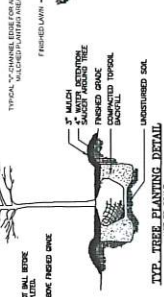
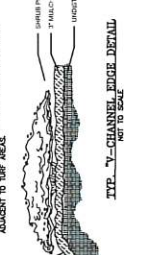
**PLAN**

**GENERAL NOTES:**

- LANDSCAPE CONTRACTOR TO VISIT THE SITE AND ACCEPT THE CONDITIONS PRIOR TO BIDDING AND PLANT MATERIAL INSTALLATION.
- LANDSCAPE CONTRACTOR TO VERIFY ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. UTILITY LINES SHOWN ON DRAWINGS ARE FOR GENERAL REFERENCE AND MAY NOT BE ALL INCLUSIVE.
- LANDSCAPE CONTRACTOR TO PROTECT ALL EXISTING STRUCTURES DURING INSTALLATION OF PLANT MATERIAL.
- ALL PLANT BEDS TO BE FILLED AND AMENDED TO A DEPTH OF 12". THE ENTIRE AREA IS TO BE COVERED WITH 3" CLEAN DOUBLE SHED HARDWOOD MULCH. TEMPORARY SEEDING/STABILIZATION, STONES, GRAVEL, AND ALL EXISTING DEBRIS INCLUDING ROOTS AND LIMBS.
- ALL PLANT BEDS TO BE FILLED AND AMENDED TO A DEPTH OF 12". THE ENTIRE AREA IS TO BE COVERED WITH 3" CLEAN DOUBLE SHED HARDWOOD MULCH.
- ALL BEDS TO CONSIST OF 1 PART FRAGILE SOIL, 1 PART FRAGILE SOIL, AND 1 PART SOIL CONDITIONER. ALL PLANT BEDS SHOULD BE FILLED IN THEIR ENTIRETY. NO PIT PLANTING OF BEDS WILL BE ACCEPTED.
- LANDSCAPE CONTRACTOR SHALL FURNISH ALL QUANTITIES NECESSARY TO COMPLETE PLANTINGS AS SHOWN/LOCATED ON DRAWINGS. QUANTITIES SHOWN ON PLANT LIST ARE FOR CONVENIENCE OF CONTRACTORS AND ARE BELIEVED TO BE SUBSTANTIALLY CORRECT, BUT ACCURACY OF QUANTITIES IN LIST IS NOT GUARANTEED.
- LANDSCAPE CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL AND WORK FOR A PERIOD OF ONE YEAR FROM ACCEPTANCE OF WORK BY OWNER.
- ANY PLANT MATERIAL SUBSTITUTIONS OR ADJUSTMENTS ARE TO BE REQUESTED IN WRITING TO THE OWNER. NO SUBSTITUTIONS WILL BE PERMITTED WITHOUT WRITTEN NOTICE BY THE OWNER.
- ALL PLANT MATERIAL TO CONFORM TO THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK".
- ALL TREES PLANTED IN GRASS AREAS SHALL HAVE A 4" DIAMETER MULCH RING.
- ALL TREES PLANTED IN GRASS AREAS ARE TO BE HEAVILY EDGED WITH A VERTICAL "Y"-CHANNEL EDGE.
- ALL TREES SHALL BE SPECIMEN QUALITY AND WELL SHAPED.
- ALL TREES OF THE SAME VARIETY SHALL MATCH IN SHAPE, FORM, AND SIZE WHERE THEY ARE TO BE INSTALLED IN GROUPS, ROWS, OR AS STREET TREES. MINOR DISTINGUISHING CHARACTERISTICS ARE PERMITTED.
- PRIOR TO SEEDING, LANDSCAPE CONTRACTOR IS TO CONTACT GENERAL CONTRACTOR FOR VERIFICATION THAT ALL LAND DISTURBING ACTIVITY HAS BEEN COMPLETED.
- LANDSCAPE CONTRACTOR TO SEED ALL AREAS PER SPECIFICATIONS. ADD FERTILIZER AND LIMC AS RECOMMENDED BY SOIL TEST. ALL NEWLY SEEDING AREAS SHOULD BE STAGED OFF FROM PEDESTRIANS AND VEHICLES FOR A PERIOD OF THREE WEEKS.
- LANDSCAPE CONTRACTOR TO OBTAIN GRADING PLAN FOR COORDINATION OF FINAL GRADES.

**NOTE:**

- CHANNEL BEDS SHALL BE MADE OF 2" ARMS AMOUNT GRASS AND FILL WITH SOIL CONDITIONER.
- "Y"-CHANNEL EDGE TO BE LOCATED ALONG OUTER PERIMETER ALIGNED TO TREE AREA.



**SHEET C-400**

**LANDSCAPING PLAN**

**RACCOON CREEK BIKE PARK**

**HAYWOOD COUNTY RECREATION**

HAYWOOD COUNTY, NORTH CAROLINA

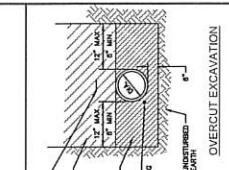
DATE: JANUARY 2025  
PROJECT # 23.00129  
ARCHITECT: K. ARNSTRONG  
PROJECT MANAGER: S. BURWELL  
DESIGNER: J. HOWARD  
SCALE: 1" = 10'-0"

**mcgill**  
55 Briquet Street  
Durham, NC 27705  
919.286.2275  
mcs@mcgill.com

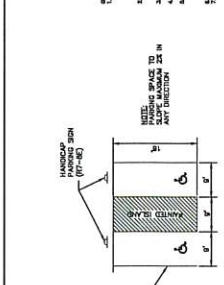
**FOR REVIEW ONLY**



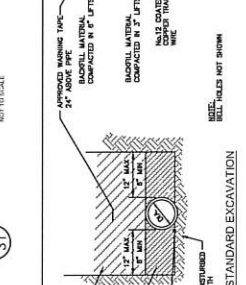
**SD 15** STORM DRAIN TRENCH DETAIL  
NOT TO SCALE  
UPDATED JULY 2022



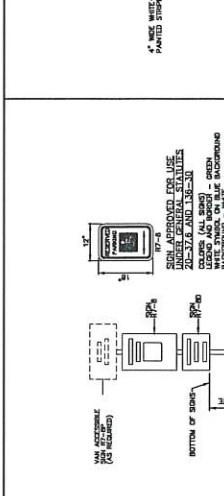
**ST 31** ACCESSIBLE STRIPING DETAIL  
NOT TO SCALE



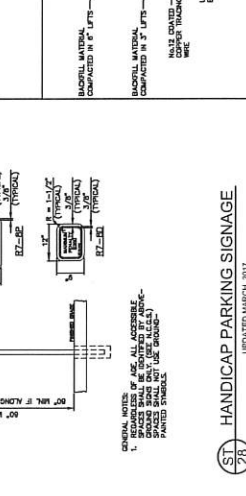
**ST 28** HANDICAP PARKING SIGNAGE  
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UPDATED MARCH 2017



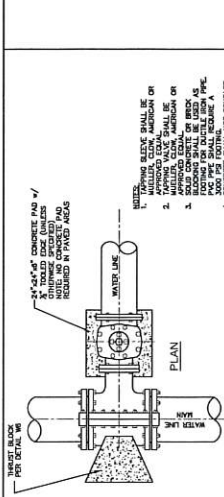
**W 1** WATER LINE TRENCHING  
NOT TO SCALE  
UPDATED MARCH 2017



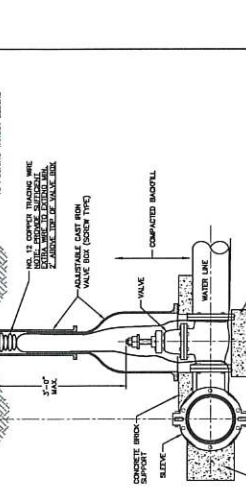
**ST 55** MINIMUM BICYCLE RACK AREA DIMENSIONS  
NOT TO SCALE



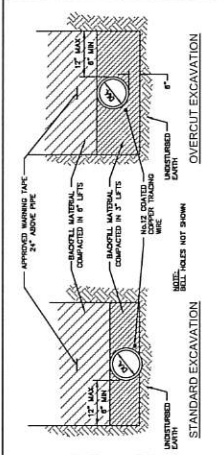
**W 8** TAPPING SLEEVE AND VALVE WITH BOX  
NOT TO SCALE  
UPDATED MARCH 2017



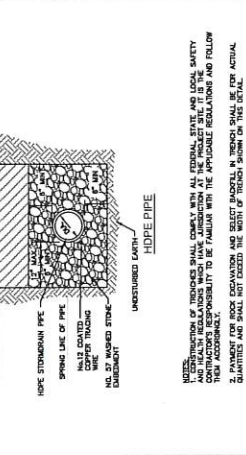
**ST 55** MINIMUM BICYCLE RACK AREA DIMENSIONS  
NOT TO SCALE



**W 8** TAPPING SLEEVE AND VALVE WITH BOX  
NOT TO SCALE  
UPDATED MARCH 2017



**SD 15** STORM DRAIN TRENCH DETAIL  
NOT TO SCALE  
UPDATED JULY 2022



**ST 31** ACCESSIBLE STRIPING DETAIL  
NOT TO SCALE



**ST 28** HANDICAP PARKING SIGNAGE  
NOT TO SCALE  
UPDATED MARCH 2017



**W 1** WATER LINE TRENCHING  
NOT TO SCALE  
UPDATED MARCH 2017



**ST 55** MINIMUM BICYCLE RACK AREA DIMENSIONS  
NOT TO SCALE



**W 8** TAPPING SLEEVE AND VALVE WITH BOX  
NOT TO SCALE  
UPDATED MARCH 2017



**ST 55** MINIMUM BICYCLE RACK AREA DIMENSIONS  
NOT TO SCALE



**W 8** TAPPING SLEEVE AND VALVE WITH BOX  
NOT TO SCALE  
UPDATED MARCH 2017

SHEET  
**C-503**

MISCELLANEOUS DETAILS

AS NOTED

PROJECT NO.	31-HAYWOOD	DATE	JANUARY 2025	PROJECT #	N/A
PROJECT MANAGER	K. ARMBRISTONG	DATE	JANUARY 2025	PROJECT #	N/A
DESIGNER	S. BURWELL	DATE	JANUARY 2025	PROJECT #	N/A

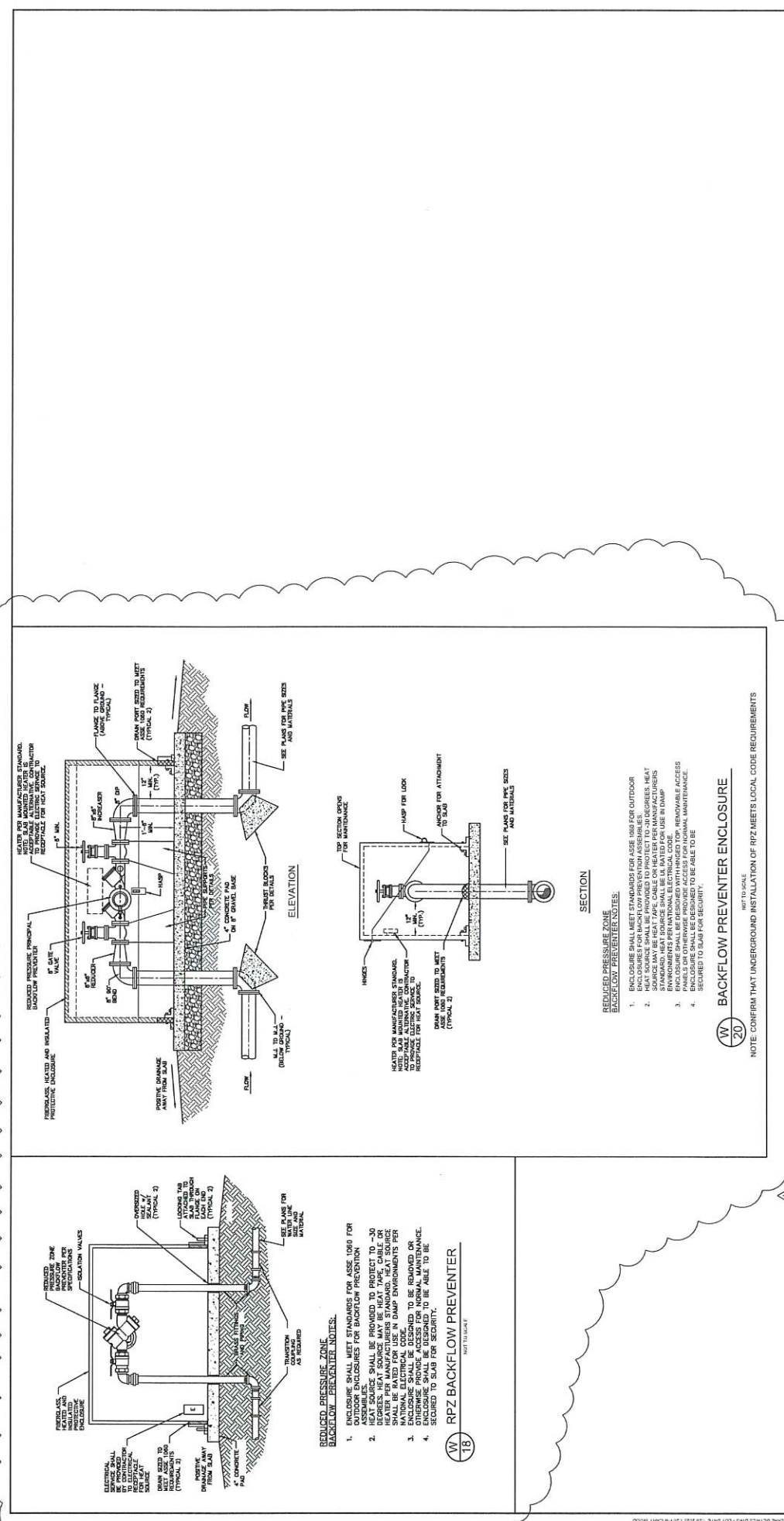
RACCOON CREEK BIKE PARK  
**HAYWOOD COUNTY RECREATION**  
HAYWOOD COUNTY, NORTH CAROLINA

NO.	DATE	BY	REVISION
1	1/28/25	SK	ISSUED FOR CONSTRUCTION FROM THE WORKS OF CONTRACT
2			

FOR REVIEW ONLY

55 Bridge Street  
Raleigh, NC 27601  
833.252.6275  
McE Firm License # C-00589  
mcgillinc.com





**REDUCED PRESSURE ZONE BACKFLOW PREVENTER**  
 18

1. ENCLOSURE SHALL MEET STANDARDS FOR ASSE LOSS FOR OUTDOOR ENCLOSURES FOR BACKFLOW PREVENTER ASSEMBLY.  
 2. HEAT SOURCE SHALL BE PROVIDED TO PROTECT TO 30 DEGREES HEAT STANDARD. HEAT SOURCE SHALL BE RATED FOR USE IN DAMP ENVIRONMENT PER MANUFACTURER'S STANDARDS.  
 3. ENCLOSURE SHALL BE DESIGNED TO BE REMOVED OR REPAIRED WITHOUT THE NEED TO REMOVE THE BACKFLOW PREVENTER FROM THE SLAB.  
 4. ENCLOSURE SHALL BE DESIGNED TO BE ABLE TO BE SECURED TO SLAB FOR SECURITY.

**RPZ BACKFLOW PREVENTER**  
 19

1. ENCLOSURE SHALL MEET STANDARDS FOR ASSE LOSS FOR OUTDOOR ENCLOSURES FOR BACKFLOW PREVENTER ASSEMBLY.  
 2. HEAT SOURCE SHALL BE PROVIDED TO PROTECT TO 30 DEGREES HEAT STANDARD. HEAT SOURCE SHALL BE RATED FOR USE IN DAMP ENVIRONMENT PER MANUFACTURER'S STANDARDS.  
 3. ENCLOSURE SHALL BE DESIGNED TO BE REMOVED OR REPAIRED WITHOUT THE NEED TO REMOVE THE BACKFLOW PREVENTER FROM THE SLAB.  
 4. ENCLOSURE SHALL BE DESIGNED TO BE ABLE TO BE SECURED TO SLAB FOR SECURITY.

**BACKFLOW PREVENTER ENCLOSURE**  
 20

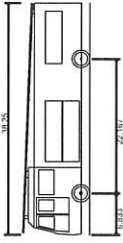
NOTE: CONFIRM THAT UNDERGROUND INSTALLATION OF RPZ MEETS LOCAL CODE REQUIREMENTS



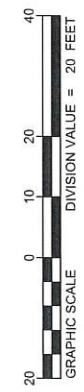
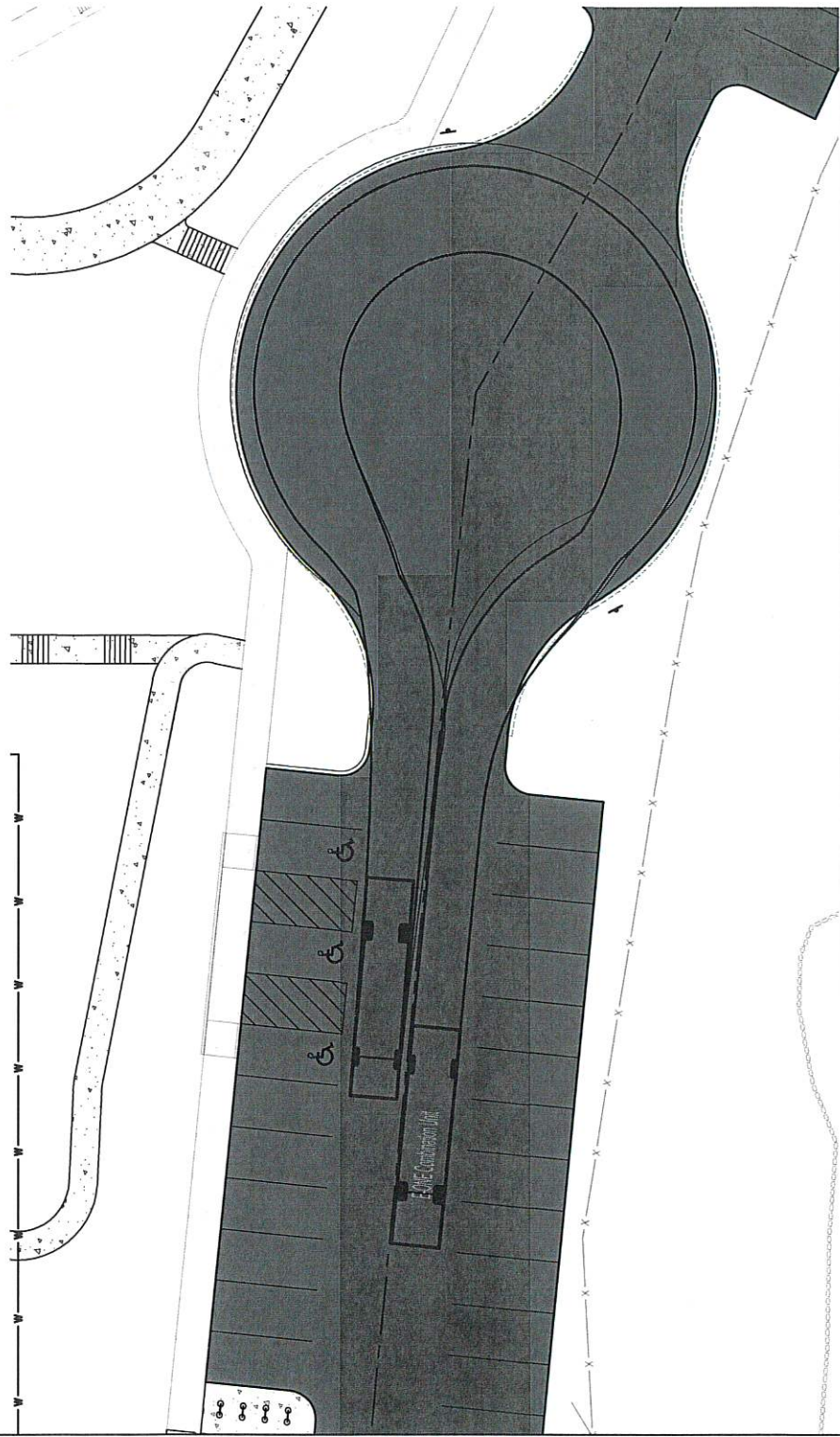
**FOR REVIEW ONLY**

**mcgill**  
 150 Blythe Street  
 Cary, NC 27513  
 (919) 252-9275  
 mcgill.com

**HAYWOOD COUNTY RECREATION**  
 RACCOON CREEK BIKE PARK  
 HAYWOOD COUNTY, NORTH CAROLINA



E-ONE Combination Unit  
 Overall Length 38'25"  
 Overall Width 22'10"  
 Overall Body Height 11'25"  
 Wheel Body Height 8'3"  
 Wheel Ground Clearance 8'3"  
 Lock-to-lock Time 6.00s  
 Max Wheel Angle 45.00°



SHEET  
**EX-1**  
 E-ONE COMBINATION  
 UNITS TURNING  
 MOVEMENT

42

RACCOON CREEK  
 BIKE PARK  
**HAYWOOD COUNTY RECREATION**  
 HAYWOOD COUNTY, NORTH CAROLINA

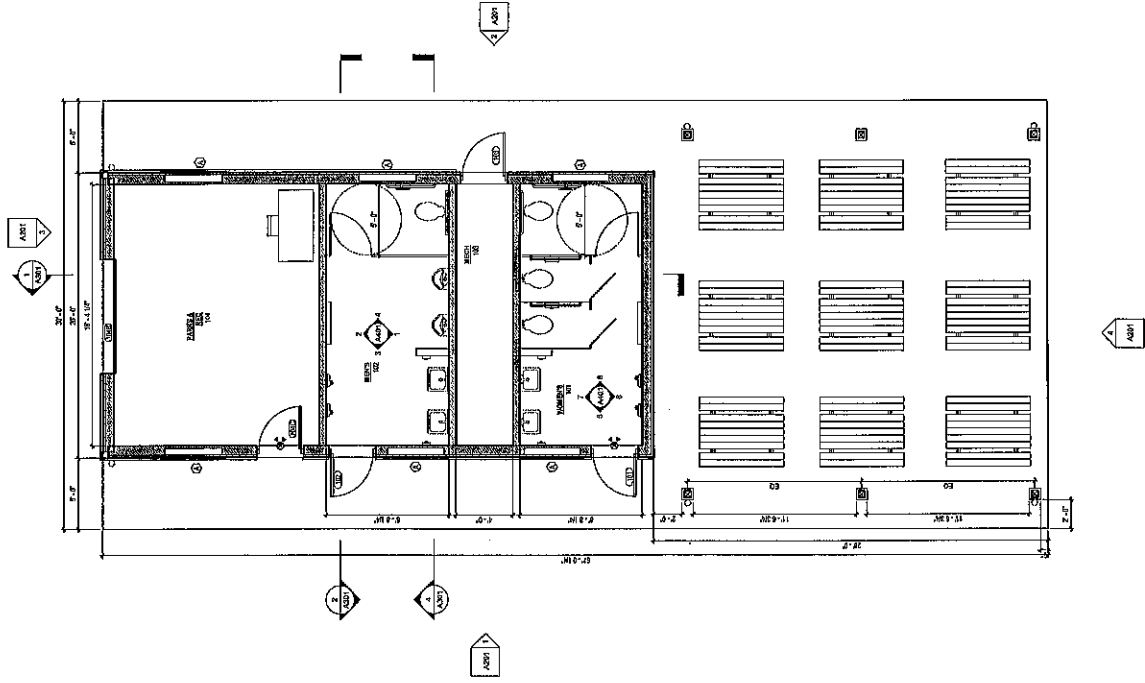
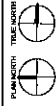
PROJECT #	23.00129
DESIGNER	J. HOWARD
REVIEWER	K. ARMSTRONG

DATE: JANUARY 2025  
 OFFICE MANAGER: M. CATHEY  
 PROJECT MANAGER: S. BURWELL

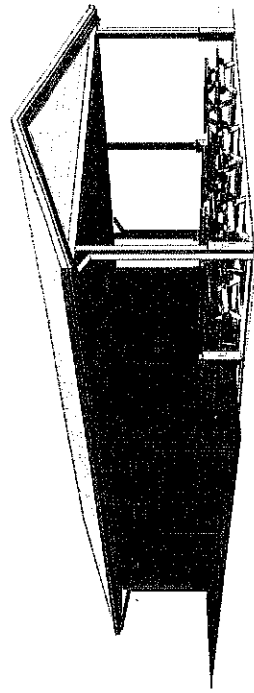
55 Front Street  
 Asheville, NC 28801  
 828.252.1575  
 NC Firm License # C-0452  
 mcgillinc.com



NO.	DATE	REVISIONS



1 FLOOR PLAN  
 A101 | 1/4" = 1'-0"



2 3D View 1.2  
 A101

**GENERAL NOTES**

- ALL PARTITIONS ARE TO BE 1/2" GYPSUM BOARD ON STUDS. ALL PARTITIONS ARE TO BE 1/2" GYPSUM BOARD ON STUDS. ALL PARTITIONS ARE TO BE 1/2" GYPSUM BOARD ON STUDS.
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NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
2	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
3	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
4	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
5	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
6	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
7	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
8	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
9	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
10	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS

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5	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
6	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
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9	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS
10	1/2" GYPSUM BOARD	100	SQ. FT.	FOR PARTITIONS

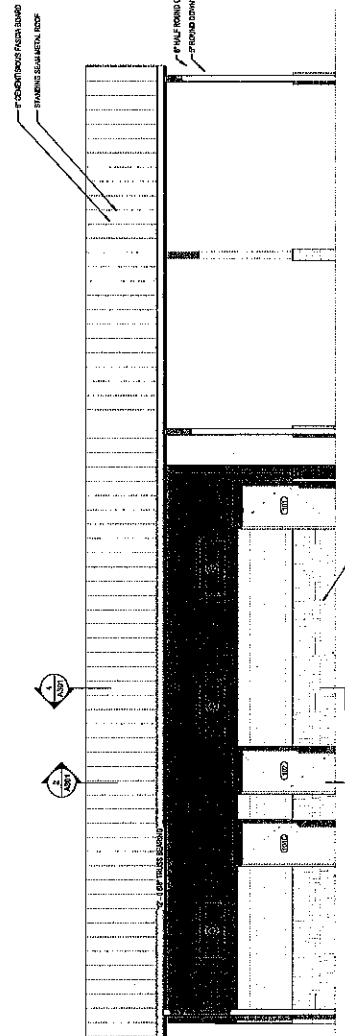
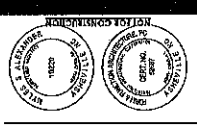
45

A201

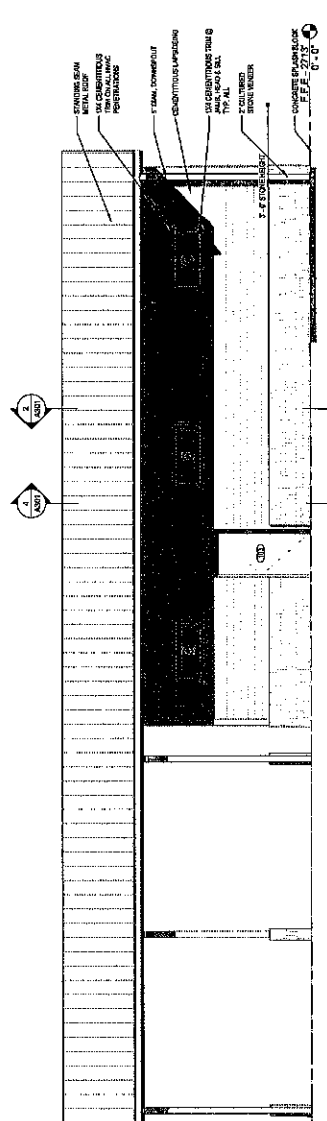
Issue Date: 7.9.24

RACCOON CREEK RESTROOM  
Raccoon Creek  
Hydrosite NC

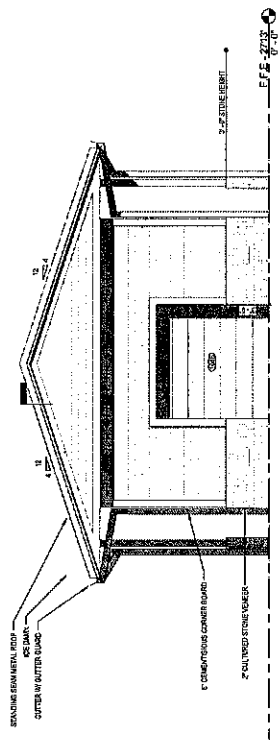
FORM & FUNCTION ARCHITECTURE  
5412 Raccoon Creek Drive, Asheville, NC 28801  
858-534-0001 | info@formandfunction.com



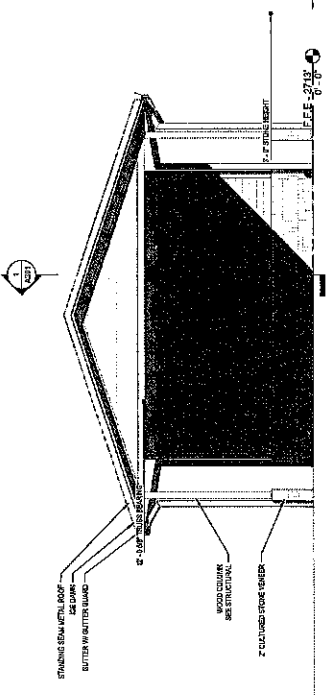
1 FRONT ELEVATION  
A201 | 1/4" = 1'-0"



2 REAR ELEVATION  
A201 | 1/4" = 1'-0"



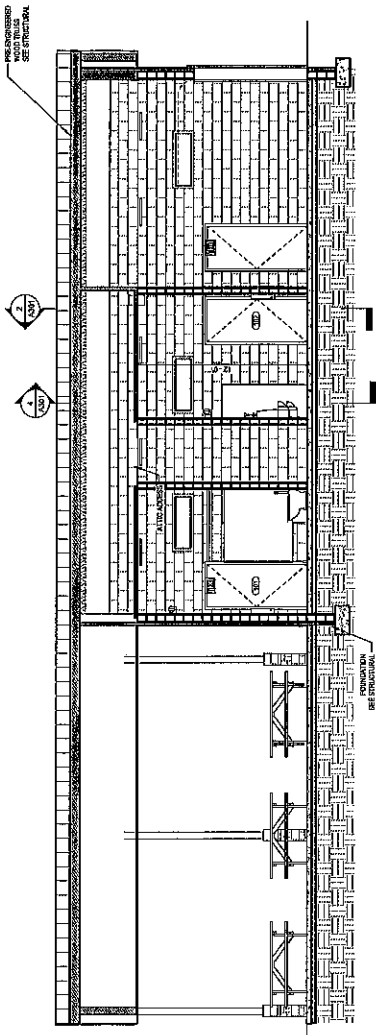
3 SIDE ELEVATION #1  
A201 | 1/4" = 1'-0"



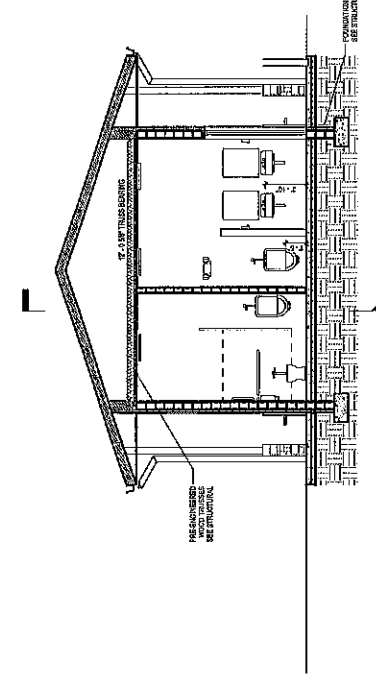
4 SIDE ELEVATION #2  
A201 | 1/4" = 1'-0"



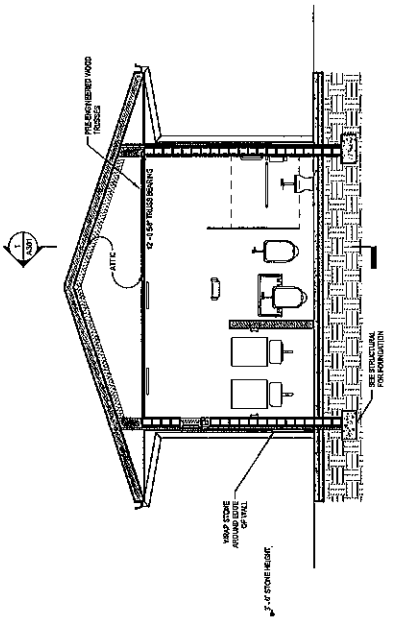
DATE	DESCRIPTION



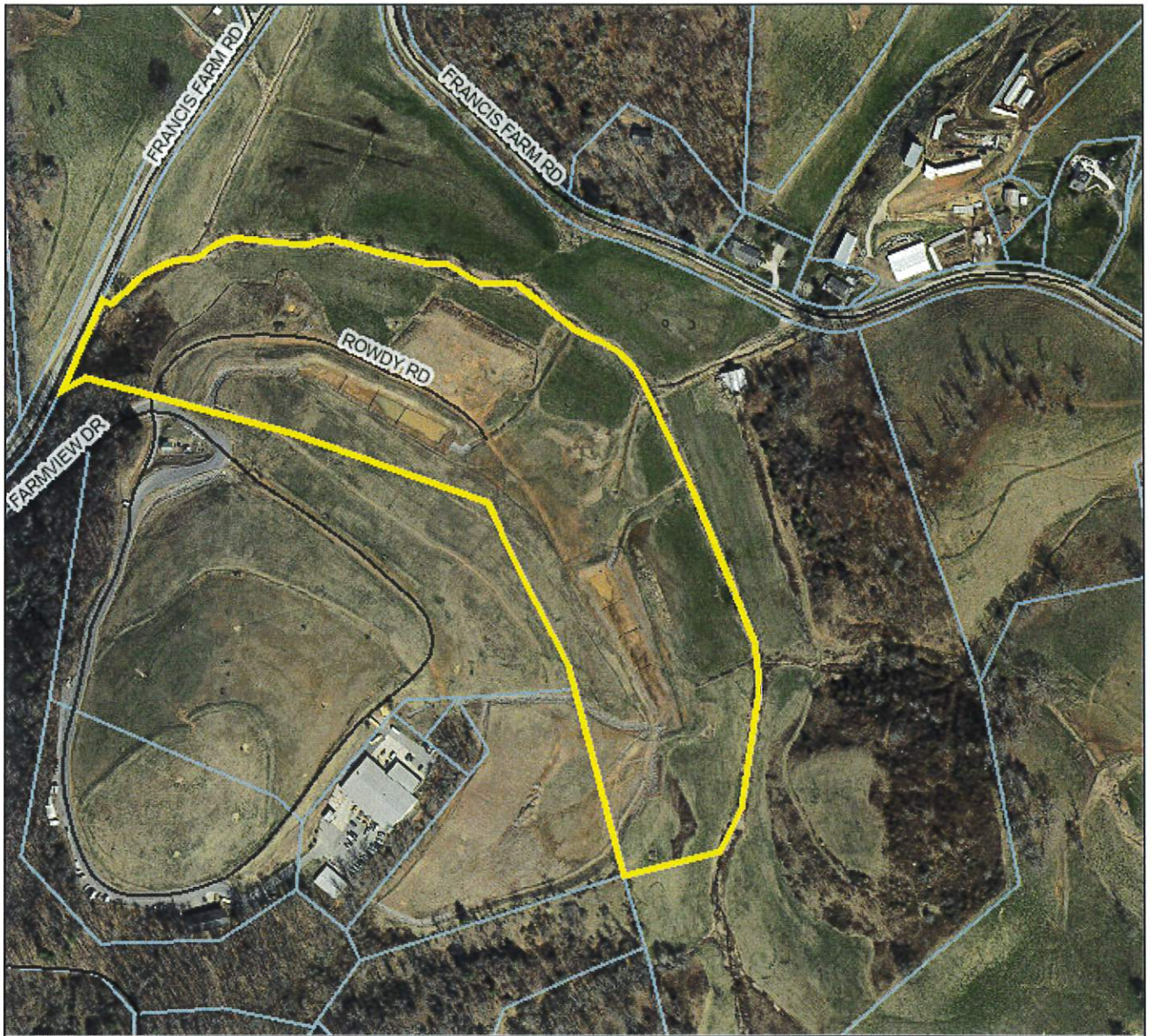
1 REAR BUILDING SECTION  
 A301 | 1/4" = 1'-0"



2 WOMEN'S RESTROOM SECTION  
 A301 | 1/4" = 1'-0"



4 BUILDING SECTION 4  
 A301 | 1/4" = 1'-0"



Report For  
 HAYWOOD COUNTY  
 HAYWOOD COUNTY COURTHOUSE  
 215 N MAIN ST  
 WAYNESVILLE, NC 28786

115 ROWDY RD  
 Heated Area:  
 Year Built:  
 Total Acreage: 25.12  
 Township: Waynesville Out

Land Value:  
 Building Value:  
 Market Value:  
 Deferred Value:  
 Assessed Value:  
 Sale Price:  
 Sale Date: 01/19/2015  
 Tax Bill 1:  
 Tax Bill 2:

**Account Information**

PIN: 8626-22-6731  
 Deed: 879/847

CABC/6697

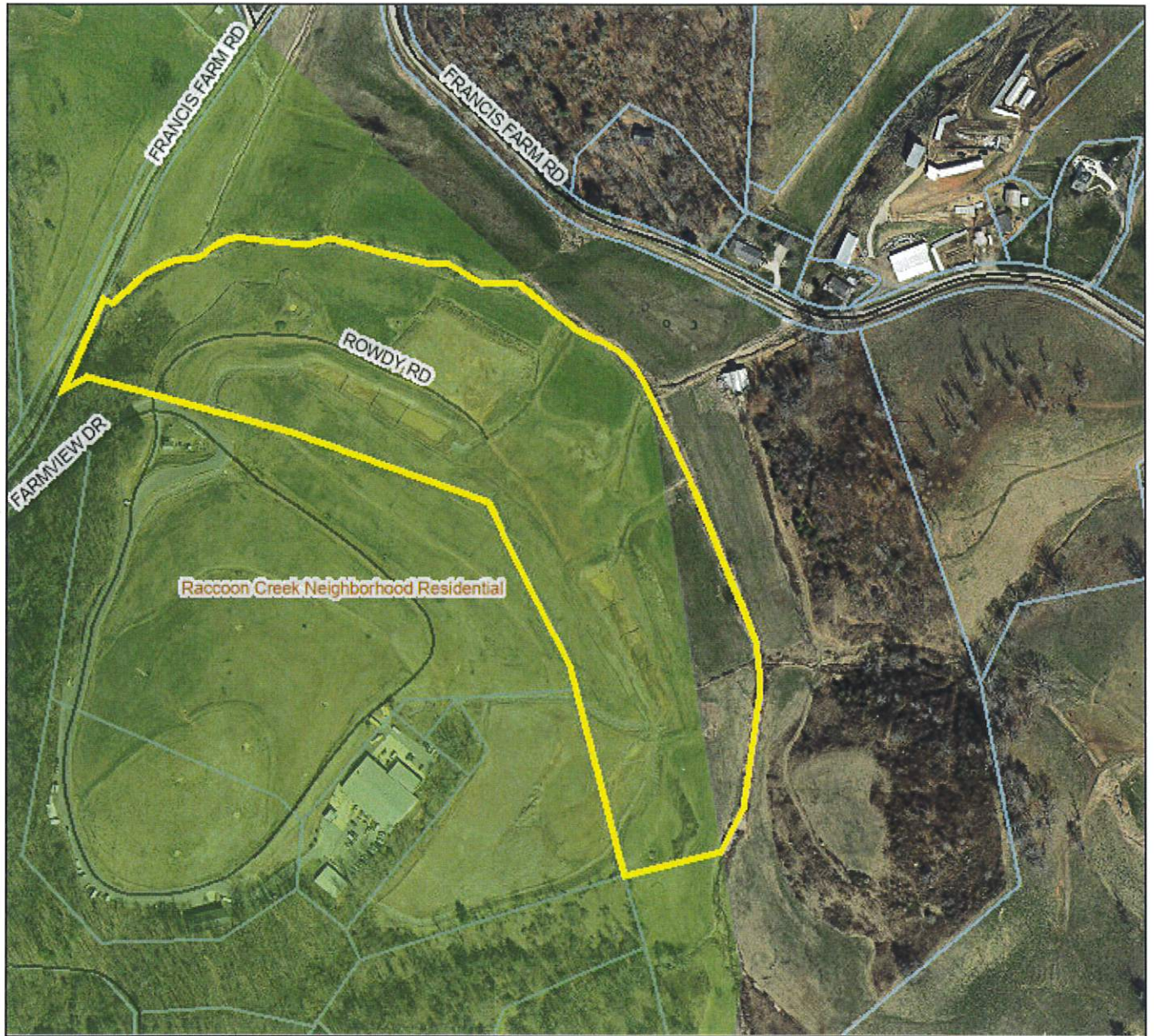


February 7, 2025



1 inch = 400 feet

Disclaimer: The maps on this site are not surveys. They are prepared from the inventory of real property found within this jurisdiction and are compiled from recorded deeds, plats and other public records and data. Users of this site are hereby notified that the aforementioned public primary information sources should be consulted for verification of any information contained on these maps. Haywood county and the website provider assume no legal responsibility for the information contained on these maps.



Report For  
 HAYWOOD COUNTY  
 HAYWOOD COUNTY COURTHOUSE  
 215 N MAIN ST  
 WAYNESVILLE, NC 28786

115 ROWDY RD

Heated Area:

Year Built:

Total Acreage: 25.12

Township: Waynesville Out

Land Value:

Building Value:

Market Value:

Defered Value:

Assessed Value:

Sale Price:

Sale Date: 01/19/2015

Tax Bill 1:

Tax Bill 2:

**Account Information**

PIN: 8626-22-6731

Deed: 879/847

CABC/6697

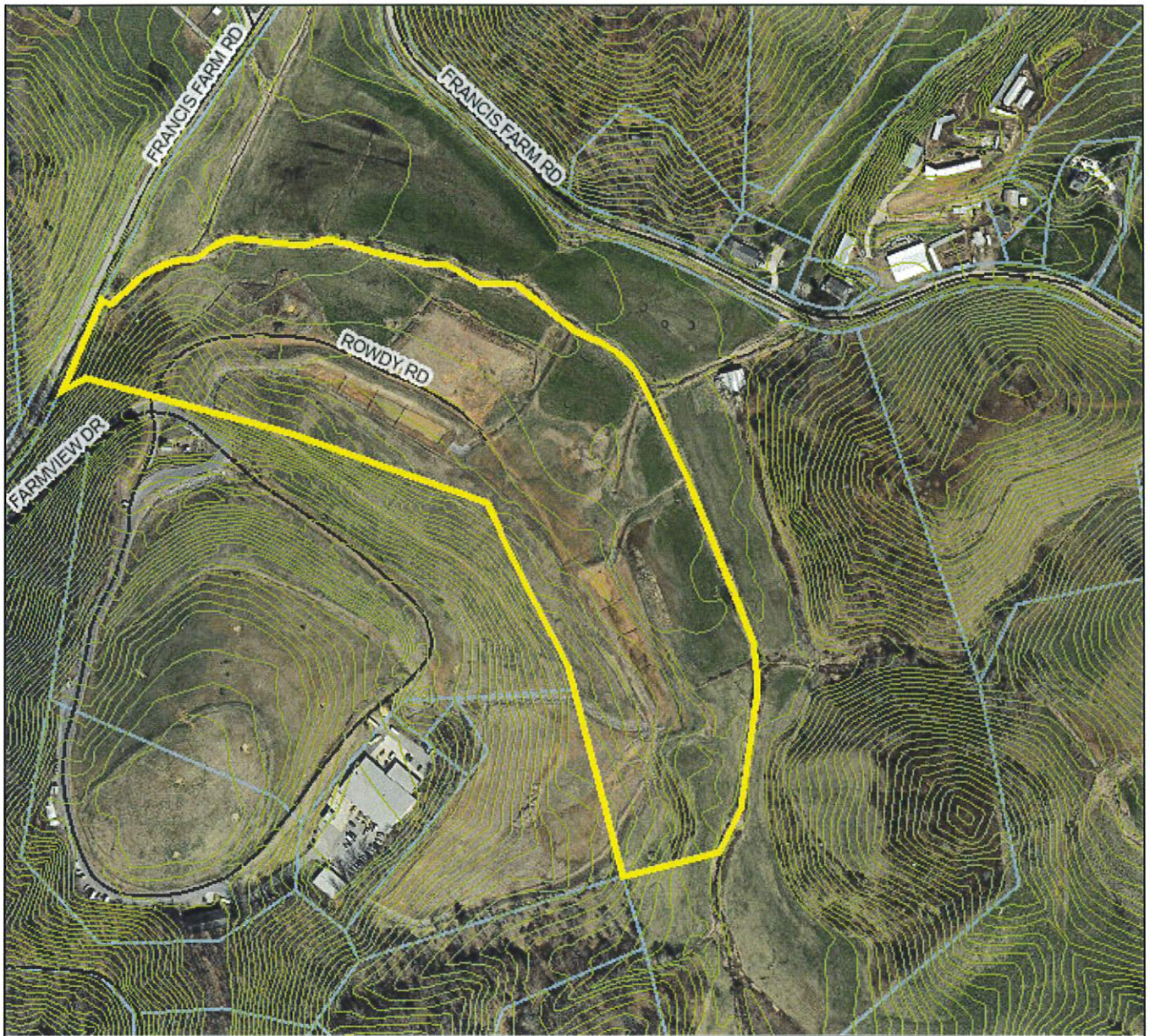


February 7, 2025



1 inch = 400 feet

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Report For

HAYWOOD COUNTY  
 HAYWOOD COUNTY COURTHOUSE  
 215 N MAIN ST  
 WAYNESVILLE, NC 28786

115 ROWDY RD

Heated Area:

Year Built:

Total Acreage: 25.12

Township: Waynesville Out

Land Value:

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Account Information

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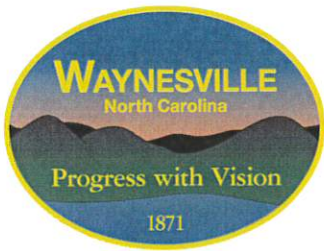
February 7, 2025



1 inch = 400 feet

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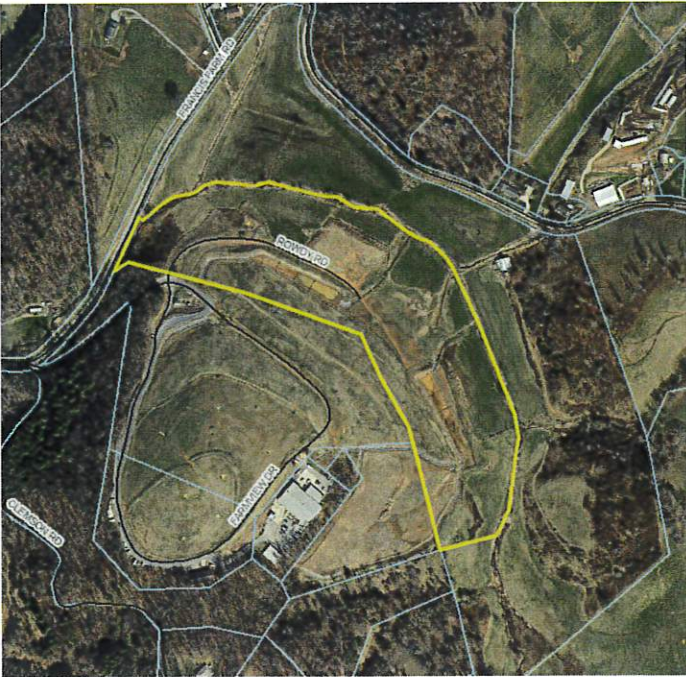
**TOWN OF WAYNESVILLE**  
 Development Services Department  
 9 South Main Street  
 Suite 110  
 Waynesville, NC 28786  
 Phone (828) 456-8647 • Fax (828) 452-1492  
 www.waynesvillenc.gov

December January 30<sup>th</sup>, 2025

**Notice of Public Hearing: Land Development Map Amendment  
 Waynesville Planning Board**

The Town of Waynesville Planning Board will hold a public hearing on Monday, February 17th, 2025, at 5:30 pm, in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider:

1. A major site plan application located at 115 Rowdy Road, Waynesville, NC, 28786 (8626-22-6731). The site is the proposed location of the Raccoon Creek Bike Park.



For more information, contact the Development Services Department at: (828) 452-0401, email: [amumby@waynesvillenc.gov](mailto:amumby@waynesvillenc.gov) mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.

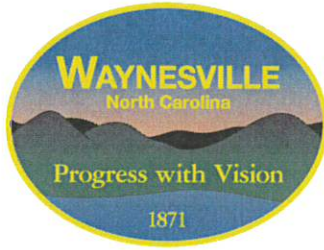
50

HAYWOOD COUNTY  
HAYWOOD COUNTY COURTHOUSE  
215 N MAIN ST  
WAYNESVILLE, NC 28786

FRANCIS, DENNIS K  
FRANCIS, TAMMY  
427 FRANCIS FARM RD  
WAYNESVILLE, NC 28786-3129

LEWIS, BETTY F  
2407 SPRINGWOOD DR  
GREENSBORO, NC 27403

JABEN, MARK J  
JABEN, MARY ANN  
78 BOARDWALK LN  
WAYNESVILLE, NC 28786



# TOWN OF WAYNESVILLE

## Development Services Department

9 South Main Street

Suite 110

Waynesville, NC 28786

Phone (828) 456-8647 • Fax (828) 452-1492

[www.waynesvillenc.gov](http://www.waynesvillenc.gov)

FOR PUBLICATION IN THE MOUNTAINEER: February 5th and February 12th (Wednesday) editions

Date: January 29<sup>th</sup>, 2025

Contact: Alex Mumby, (828) 452-0401

### **Notice of Public Hearings**

#### **Town of Waynesville Planning Board**

The Town of Waynesville Planning Board will hold two public hearings on Monday, February 17th, 2025, at 5:30 pm, in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider:

1. A major site plan application located at 115 Rowdy Road, Waynesville, NC, 28786 (8626-22-6731). The site is the proposed location of the Raccoon Creek Bike Park.
2. A text amendment to the Land Development Standards (Sections 2.5.3, 4.5.3, 7.2.1, and 17.3) to allow for the use of ground mounted solar panels on private property and to add EV parking as an allowable use within civic space.

For more information contact the Development Services Department at: (828) 452-0401, email: [amumby@waynesvillenc.gov](mailto:amumby@waynesvillenc.gov) mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.



THE TOWN OF WESTMINSTER  
PLANNING BOARD  
AND  
ZONING BOARD  
PUBLIC HEARING  
ON FEBRUARY 17, 2025 AT 5:30 PM  
IN THE TOWN HALL, 280 COUNTRY ST.  
SOUTH MAIN ST.  
TO CONSIDER A MAJOR SITE PLAN  
FOR THE PROPOSED COURIER CENTER  
820-430-8047

## **Town of Waynesville Planning Board Staff Report**

**Subject:** Ground Mounted Solar Panels and Electric Vehicle Installations in the LDS  
**Ordinance Sections:** Multiple  
**Applicant:** Request for text amendment from the Environmental Sustainability Board  
**Meeting Date:** February 17<sup>th</sup>, 2025  
**Presenter:** Alex Mumby, Land Use Administrator  
 Elizabeth Teague, Development Services Director

### **Background:**

This ordinance addresses several technologies: stand-alone, ground mounted solar panels, EV charging stations, and solar arrays. The Development Services Department was asked by the Environmental Sustainability Board to examine how the Land Development Standards could be applied to the use of ground mounted solar panels and arrays on residential and commercial lots. Additionally, staff would like to incentivize the installation of electric vehicle charging stations and integrate EV Charging into common parking and civic space areas in major site plans.

In discussion of this topic, the Planning Board asked staff to also look at how large-scale, commercial solar arrays, or “solar farms” are handled in the ordinance. The answer is that they are not currently addressed in the LDS at all. In the proposed ordinance, staff recommends that solar farms be defined, but not placed in the permitted uses table. This would effectively prohibit them until more consideration can be given. Generally, staff feels that large scale solar arrays used to generate power for a utility or commercial purposes, should fall under the category of “Utilities – Class 3” in the LDS Section 3.10.6 of Supplemental Standards which refers to uses that meet the definition of “generation, production, or treatment facilities such as power plants, water and sewerage plants, and landfills,” and as having to meet the requirements for a Special Use Permit, and the administrative guidelines found in LDS Section 15.10.

However, if a solar farm within Waynesville limits is proposed, a more thoughtful ordinance in the form of a text amendment could be developed with a better understanding of where and how a large-scale solar farm would be placed within the Town. In the meantime, a solar farm use type has been created as a definition, but this text amendment only addresses smaller-scale uses of solar and EV power generation for private purposes on private lots (not for the purpose of distribution as part of a utility), in both residential and commercial settings.

Roof-mounted solar panels and EV Charging ports attached to buildings are already allowed, permitted and inspected by Town’s Building Inspections under the North Carolina Building Codes as part of a structure. Only a few stand-alone, ground-mounted solar arrays and panels (GMSPs) have been permitted in Town and were treated simply as mechanical equipment, without the application of zoning standards. Generally, residential solar ground mounted arrays and solar panels on poles must meet North Carolina electrical and wind load requirements and are not connected structurally to buildings.

A draft ordinance based on zoning rules from Weaverville and Asheville was presented to the Planning Board on December 5<sup>th</sup>, 2024, and amendments to the draft have been made based on that discussion and Board feedback. Specifically, concern was raised regarding the number of pole-mounted solar panels which could be placed on a lot, and the height of such structures. The new draft ordinance now limits the number

of ground-mounted poles or a solar array, to one per .2 acres rounded up. The maximum height of pole mounted solar panels is now recommended to be limited to 15' feet for residential installations and 20' in commercial installations.

For incentives for EV charging stations in major site plans, staff is recommending that EV parking spaces can count toward parking requirements and civic space up to 1000 square feet. This would accommodate at least one ADA space and 4 standard spaces, plus equipment. EV charging stations as part of residential or commercial development in minor site plans or other development will be continued to be allowed as customary uses on individual sites.

Examples:



### **Staff Recommendation**

Staff recommends that the Town ordinance define and allow GMSPs in all districts, so that there is no zoning question in the future.

- Pole mounts and arrays settings should not count as accessory structures but should stay below the height as a ground mounted light fixture, at 15' in residential settings and 20' in commercial settings. They should be allowed within parking lots in commercial settings, but should be limited to the side or rear yard in residential settings. A variance from the ZBA should be sought for alternative locations or extended height requests where the height of neighboring structures or other impediments to the collection of solar energy exist, and when alternative placement is needed for tree preservation. Additionally, variance criteria should include evidence that the installation would not interfere with the neighboring properties or take away from the character of the neighborhood. Pole mounts and ground mount structures should meet the accessory structure setback of 5' feet.
- EV Charging stations should be encouraged in all large-scale development. As incentive for residential placement, EV chargers with adjacent designated parking could count toward civic space in addition to parking requirements. This would give design flexibility and hopefully give some incentive to include them.

Staff recommends that a more comprehensive examination on large scale solar arrays be developed with supplemental standards and realistic considerations for where they could be placed. For example, the Board might want to direct a solar farm use to the Commercial-Industrial and Regional Center District areas and/or to more rural areas that are low density or in low density study areas of the Comprehensive Plan, with Supplemental Standards that are developed once a real proposal comes forward.

### **Consistency with Comprehensive Plan**

Goal 3 of the 2035 Comprehensive Plan is to “protect and enhance Waynesville’s natural resources.” This includes the goal “to engage in and promote the best management practices related to energy use...”

Goal 5 of the Plan is to “create opportunities for a sustainable economy.” This includes, “Support 21<sup>st</sup> century technology and infrastructure by broadening the availability of high-speed internet, modernizing wireless communication facilities, and promoting green building and the use of solar and wind technologies.”

### **Recommended Motion**

1. Motion to find the recommended changes to the Land Development Standards as attached (or amended) as being consistent with the 2035 Land Use Plan and in the public interest.
2. Motion to recommend the text amendment as attached (or as amended) to the Town Council.

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING THE TEXT OF THE  
TOWN OF WAYNESVILLE LAND DEVELOPMENT STANDARDS**

**WHEREAS**, the Town of Waynesville has the authority, pursuant to Article 7 of Chapter 160D of the North Carolina General Statutes, to adopt land development regulations, clarify such regulations, and may amend said regulations from time to time in the interest of the public health, safety, and welfare; and

**WHEREAS**, the Town of Waynesville Planning Board has reviewed the proposed text amendments to the Land Development Standards (LDS) and recommends that they are consistent with the 2035 Comprehensive Plan and that they are reasonable and in the public interest because:

- Goal 1: Continue to promote smart growth principles in land use planning and zoning
  - Promote conservation design to preserve important natural resources
- Goal 3: Protect and enhance Waynesville’s natural resources.
  - Continue to engage in and promote best management practices related to energy use, efficiency, and waste management
  - Protect and enhance water quality and forests
  - Protect rural lands, iconic views, and mountain vistas

**WHEREAS**, the Planning Board has reviewed and recommends the proposed text amendments for enactment by the Town Council; and

**WHEREAS**, the Town Council find this Ordinance is consistent with the Town’s 2035 Comprehensive Plan and that it is reasonable and in the public interest to “make decisions about resources and land use in accordance with North Carolina General Statutes.” and

**WHEREAS**, after notice duly given, a public hearing was held on \_\_\_\_\_, 2025 at the regularly scheduled meeting of the Waynesville Planning Board, and on \_\_\_\_\_ 2025 at the regularly scheduled meeting of Town Council;

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF WAYNESVILLE, MEETING IN REGULAR SESSION ON \_\_\_\_\_, 2025 AND WITH A MAJORITY OF THE BOARD MEMBERS VOTING IN THE AFFIRMATIVE, THE FOLLOWING:**

That the Land Development Standards be amended as follows (in red):



1. Amend Section 4.5.3 Other Requirements as follows:

**4.5.3 Other Requirements.**

A. **Buffering:** Accessory structures with a footprint greater than six hundred (600) square feet shall be buffered from any adjacent residential developments with a Type C Buffer (Section 8.4.2.C).

B. **Lighting:** Exterior lighting for accessory uses and/or structures shall meet the requirements by which principal structures are governed as set forth in Section 10.2.

**C. Ground Mounted Solar Panels:**

- One ground-mounted or pole-mounted solar panel shall be allowed for each .2 acres of a parcel rounded up. They shall be subject to the setbacks of accessory structures.
- The height of ground-mounted and pole-mounted solar panels shall be limited to 15 feet in residential and mixed-use installations, and to 20' in commercial installations, as measured from the adjacent grade to the top of the supporting structure.
- The placement of ground-mounted and pole-mounted solar panels shall be limited to the rear or side yards in residential installations.
- Residential ground-mounted and pole-mounted solar panels shall be placed for maximum solar capture and tree preservation. GMSP's may be placed in the front yard only with approval of a variance through the Zoning Board of Adjustment, with findings that indicate surrounding trees, structures, or topography prohibit the effective capture of solar energy in the rear and side yards.



2. Amend Section 7.2. Civic Space Standards as follows:


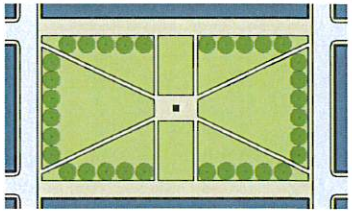
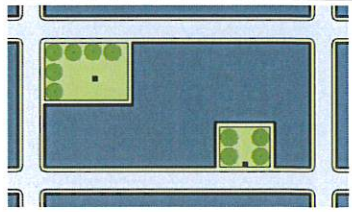
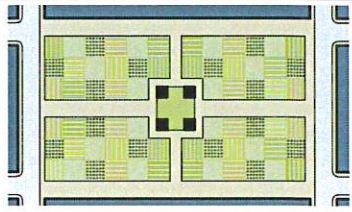

**7.2 Civic Space Standards.**

All land dedicated for required civic spaces shall meet the criteria below in this section. Stormwater facilities cannot be counted towards civic space. Delineated wetlands and required stream buffers can be counted towards civic space only when adjacent to, or a part of, a greenway or designated preserve.

**7.2.1 Required Civic Space Types.**

Civic space, as required by the district provisions, shall conform to one or more of the following typologies.

<p><b>A. Park/Greenway:</b> A natural preserve available for unstructured recreation. Its landscape shall consist of paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Parks may be linear, following the trajectories of natural corridors as part of a greenway. The minimum size shall be .16 acre (except with Greenways where there is no minimum).</p>	
<p><b>B. Green:</b> An open space available for unstructured recreation. A Green may be spatially defined by landscaping rather than building frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be .16 acre.</p>	

C.	<p><b>Preserve:</b> Natural preserves include any area of existing or restored open lands such as riparian corridors and wetlands, unique geological formations, important habitats, or substantial groupings of important plant types. The goal is to protect and maximize intact and undisturbed spaces that provide valuable ecosystem services for the community, support preservation goals, and enhance the aesthetics and amenities of the area. Active recreation, such as trails and paths, can be a part of these areas. The minimum size is 1 acre of contiguous preserved area.</p>	
D.	<p><b>Square:</b> An open space available for unstructured recreation and civic purposes. A Square is spatially defined by building frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important streets. The minimum size shall be .16 acre.</p>	
E.	<p><b>Playground:</b> An open space designed and equipped for the recreation of children. A playground shall be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a block. Playgrounds may be included within other civic spaces. There shall be no minimum or maximum size.</p>	
F.	<p><b>Community Garden:</b> A grouping of garden plots available for small-scale cultivation, generally to residents of apartments and other dwelling types without private gardens. Community gardens should accommodate individual storage sheds. There shall be no minimum or maximum size.</p>	
G.	<p><b>Greenway:</b> A linear parcel of land set aside to contain a trail for non-motorized transportation and/or recreation, usually connecting to a planned corridor. There shall be no minimum or maximum size.</p>	

<p><b>H.</b></p>	<p><b>Dog Park:</b> An off-leash dog area. A dog park shall be enclosed with a galvanized or coated chain link fence or metal fence measuring four (4) to six (6) feet in height and include a double gate entry system (like a sally port). The dog park shall also have a designated waste disposal facility, signage with applicable rules, a shade area (with either a structure or mature shade trees). The area may also include a plumbed drinking water station. There shall be no minimum or maximum size.</p>	
<p><b>I.</b></p>	<p><b>Community Area:</b> Designated indoor or outdoor facilities to support social and recreational activities of the residents. Examples include a pavilion, fire pit, picnic area, grill area, gym, pool, community building, club house, basketball court, tennis court, golf course, or similar amenities determined to be appropriate by an Administrator. There shall be no minimum or maximum size.</p>	
<p><b>J.</b></p>	<p><b>Electric Vehicle (EV) Charging Space:</b> Dedicated parking spaces with installed EV charging equipment. A minimum of 1 space must be ADA accessible. All spaces must be clearly marked with signage, green striping, and bollards at the front of the space to protect the equipment. The maintenance and repair of EV stations and equipment shall be clearly outlined in the HOA covenants. In the absence of an HOA, the individual owners or management company shall be responsible for the upkeep and repairs of the charging stations. Square footage for EV charging spaces will count toward the overall civic space requirement and toward required parking. Total square footage of EV charging spaces shall not be more than 25% of the required civic space up to 1000 square feet (approximately up to 5 spaces spaces).</p>	

3. Add a definition to the section 17.3-Definitions, Use Type:

**Solar Farms.** This U.S. industry comprises establishments primarily engaged in operating solar electric power generation facilities. These facilities use energy from the sun to produce electric energy. The electric energy produced in these establishments is provided to electric power transmission systems or to electric power distribution systems [NAICS 221114].

4. Add definitions to the section 17.4-Definitions, General:

**Electric Vehicle (EV) Charging Stations.** An electrical cabinet or equipment to charge motor vehicles that are either partially or fully powered on electric power received from an external power source. For the purposes of this regulation, this definition does not include golf carts, electric bicycles, or other micromobility devices.

**Solar Panel, Ground-Mounted.** A solar panel array attached directly to the ground either through posts or racks.

**Solar Panel, Pole-Mounted.** A solar panel attached directly to the ground through the use of a single pole.

ADOPTED this \_\_\_\_\_ Day of \_\_\_\_\_, 2025.

TOWN OF WAYNESVILLE:

\_\_\_\_\_  
J. Gary Caldwell, Mayor

ATTEST:

\_\_\_\_\_  
Candace Poolton, Town Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Martha Bradley, Town Attorney



## TOWN OF WAYNESVILLE

### Development Services Department

9 South Main Street

Suite 110

Waynesville, NC 28786

Phone (828) 456-8647 • Fax (828) 452-1492

[www.waynesvillenc.gov](http://www.waynesvillenc.gov)

FOR PUBLICATION IN THE MOUNTAINEER: February 5th and February 12th (Wednesday) editions

Date: January 29<sup>th</sup>, 2025

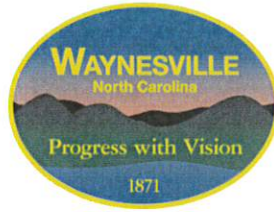
Contact: Alex Mumby, (828) 452-0401

### **Notice of Public Hearings Town of Waynesville Planning Board**

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2. A text amendment to the Land Development Standards (Sections 2.5.3, 4.5.3, 7.2.1, and 17.3) to allow for the use of ground mounted solar panels on private property and to add EV parking as an allowable use within civic space.

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To: Town of Waynesville Planning Board  
 From: Alex Mumby, Land Use Administrator  
 Date: February 17<sup>th</sup>, 2025  
 Subject: Text Amendment Statement of Consistency  
 Description: Text Amendment to address solar panels and EV charging stations.  
 Contact: Town of Waynesville Planning Department (“Development Services”)

The Planning Board hereby adopts and recommends to the Governing Board the following statement(s):

The zoning map amendment **is approved and is consistent with the Town’s Comprehensive Land Use Plan** because: \_\_\_\_\_

\_\_\_\_\_

The zoning map amendment and **is reasonable and in the public interest** because:

\_\_\_\_\_

\_\_\_\_\_

The zoning map amendment **is rejected because it is inconsistent with the Town’s Comprehensive Land Use Plan and is not reasonable and in the public interest** because \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

In addition to approving this zoning map amendment, this approval is **also deemed an amendment to the Town’s Comprehensive Land Use Plan**. The change in conditions taken into account in amending the zoning ordinance to meet the development needs of the community and why this action is reasonable and in the public interest, are as follows: \_\_\_\_\_

\_\_\_\_\_

Planning Board Member \_\_\_\_\_, made a motion, seconded by \_\_\_\_\_

The motion passed \_\_\_\_\_. (*unanimously or vote results here*)

\_\_\_\_\_  
 Susan Teas Smith, Planning Board Chair

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Esther Coulter, Administrative Assistant

\_\_\_\_\_  
 Date

## **Planning Board Staff Report**

Subject: Text amendment related to internal lighting of signs  
 Ordinance Section: Land Development Standards Section 11.9.2  
 Applicant: Staff initiated text amendment; Development Services Department  
 Meeting Date: January, 13, 2025; Continued to February 17, 2025

## **Background**

The proposed text amendments include removal of sections of the sign ordinance regarding how internally illuminated signs are lit. As written, the “luminous transmittance” of light is ill defined and unenforceable. Light generated from signs are regulated through measurement of candelas, angle of the light, and light trespass.

## **Staff Recommended Text Changes:**

The proposed text amendments include:

- Removing lines C and D from LDS sections 11.9.2

The proposed changes to the current Land Development Standards are in red and ~~struck through~~

## **Consistency with the 2035 Comprehensive Land Use Plan**

Staff submits that the proposed text amendments to the LDS are consistent with the first goal of the 2035 Comprehensive Plan:

Goal 1: Continue to promote smart growth principles in land use planning and zoning.

- Create walkable and attractive neighborhoods and commercial districts
- Reinforce the unique character of Waynesville

The Town will also maintain adequate legal authority through the most up-to-date ordinance.

## **Attachments**

1. Proposed Text Amendment
2. Consistency Statement Worksheet

## **Recommended Motions**

1. Motion to find the recommended changes to the Land Development Standards as attached (or amended) as being consistent with the 2035 Land Use Plan and reasonable and in the public interest.
2. Motion to recommend staff initiated text amendment as attached (or as amended) to the Town Council.

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING THE TEXT OF THE  
TOWN OF WAYNESVILLE LAND DEVELOPMENT STANDARDS**

**WHEREAS**, the Town of Waynesville has the authority, pursuant to Article 7 of Chapter 160D of the North Carolina General Statutes, to adopt land development regulations, clarify such regulations, and may amend said regulations from time to time in the interest of the public health, safety, and welfare; and

**WHEREAS**, the Town of Waynesville Planning Board has reviewed the proposed text amendments to the Land Development Standards (LDS) and recommends that they are consistent with the 2035 Comprehensive Plan and that they are reasonable and in the public interest because:

- The Town of Waynesville will continue to “promote smart growth in land use planning and zoning” (Goal #1);
- The proposed text amendment will “reinforce the unique character of Waynesville” (Goal #1);
- The Town will maintain adequate legal authority through the most up-to-date ordinance that is clear and enforceable.

**WHEREAS**, the Planning Board has reviewed and recommends the proposed text amendments for enactment by the Town Council; and

**WHEREAS**, the Town Council find this Ordinance is consistent with the Town’s 2035 Comprehensive Plan and that it is reasonable and in the public interest to “make decisions about resources and land use in accordance with North Carolina General Statutes.” and

**WHEREAS**, after notice duly given, a public hearing was held on April 15, 2024 at the regularly scheduled meeting of the Waynesville Planning Board, and on \_\_\_\_\_, 2024 at the regularly scheduled meeting of the Waynesville Town Council;

**NOW, THEREFORE, BE IT ORDAINED BY THE WAYNESVILLE TOWN COUNCIL, MEETING IN REGULAR SESSION ON \_\_\_\_\_ AND WITH A MAJORITY OF THE BOARD MEMBERS VOTING IN THE AFFIRMATIVE, THE FOLLOWING:**

That the Land Development Standards be amended as follows:

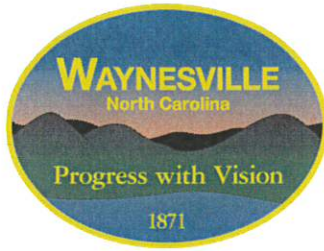


**Amend LDS Section 11.9.2 as follows:**

11.9.2 Internal Illumination.

Where internally illuminated signs are permitted they must meet the following requirements:

- A. Such signs shall consist of light lettering or symbols on a dark background.
- B. The lettering or symbols shall constitute no more than forty (40) percent of the surface area of the sign.
- ~~C. The luminous transmittance for the lettering or symbols shall not exceed thirty-five (35) percent.~~
- ~~D. The luminous transmittance for the background portion of the sign shall not exceed fifteen (15) percent.~~
- E. Light sources shall be fluorescent tubes, spaced at least twelve (12) inches on center, mounted at least 3.5 inches from the translucent surface material.
- F. Channel letter type signs may use neon tubing as an internal illumination source, provided that the light source is shielded by translucent faces or that a silhouette type sign is used where the light source illuminates the sign background and the letters or symbols are opaque.
- G. Outdoor advertising signs of the type constructed of translucent materials where the copy only is illuminated from within do not require shielding provided the light source or bulb is not showing.
- H. Electronic changeable face signs shall comply with the following:
  - 1. The outdoor advertising sign shall have an automatic dimmer (factory set to the illumination intensities set below) and a photo cell sensor to adjust the illumination intensity or brilliance of the sign so that it shall not cause glare or impair the vision of motorists, and shall not interfere with any driver's operation of a motor vehicle.
  - 2. The sign shall not exceed a maximum illumination of 7,500 nits (candelas per square meter) during daylight hours and a maximum illumination of 500 nits between dusk to dawn as measured from the sign's face at maximum brightness.
  - 3. Any illumination devices shall be effectively shielded so as to prevent beams or rays of light from being directed at any portion of a street or highway. Illumination intensity or brilliance shall not cause glare or impair the vision of motorists, and shall not interfere with any driver's operation of a motor vehicle.



# TOWN OF WAYNESVILLE

## Development Services Department

9 South Main Street

Suite 110

Waynesville, NC 28786

Phone (828) 456-8647 • Fax (828) 452-1492

[www.waynesvillenc.gov](http://www.waynesvillenc.gov)

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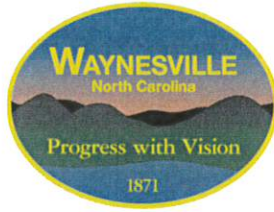
Date: December 23rd, 2024

Contact: Alex Mumby, (828) 452-0401

### **Notice of Public Hearing Town of Waynesville Planning Board**

The Town of Waynesville Planning Board will hold a public hearing on Monday, January 13th, 2025, at 5:30 pm, in the Town Hall Board Room, located at 9 South Main Street, Waynesville, NC, to consider text amendments related to general corrections and updates to the land development standards (LDS), various sections.

For more information contact the Development Services Department at: (828) 452-0401, email: [amumby@waynesvillenc.gov](mailto:amumby@waynesvillenc.gov) mail: 9 South Main Street, Suite 110, Waynesville, NC 28786.



To: Town of Waynesville Planning Board  
 From: Alex Mumby, Land Use Administrator  
 Date: February 17, 2025  
 Subject: Text Amendment Statement of Consistency  
 Description: Text Amendment to remove outdated section of Sign Ordinance 11.9.2  
 Contact: Town of Waynesville Planning Department ("Development Services")

The Planning Board hereby adopts and recommends to the Governing Board the following statement(s):

The zoning map amendment **is approved and is consistent with the Town's Comprehensive Land Use Plan** because: \_\_\_\_\_  
 \_\_\_\_\_

The zoning map amendment and **is reasonable and in the public interest** because:  
 \_\_\_\_\_  
 \_\_\_\_\_

The zoning map amendment **is rejected because it is inconsistent with the Town's Comprehensive Land Use Plan and is not reasonable and in the public interest** because \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

In addition to approving this zoning map amendment, this approval is **also deemed an amendment to the Town's Comprehensive Land Use Plan**. The change in conditions taken into account in amending the zoning ordinance to meet the development needs of the community and why this action is reasonable and in the public interest, are as follows: \_\_\_\_\_  
 \_\_\_\_\_

Planning Board Member \_\_\_\_\_, made a motion, seconded by \_\_\_\_\_

The motion passed \_\_\_\_\_. (*unanimously or vote results here*)

\_\_\_\_\_  
 Susan Teas Smith, Planning Board Chair

\_\_\_\_\_  
 Date

\_\_\_\_\_  
 Esther Coulter, Administrative Assistant

\_\_\_\_\_  
 Date